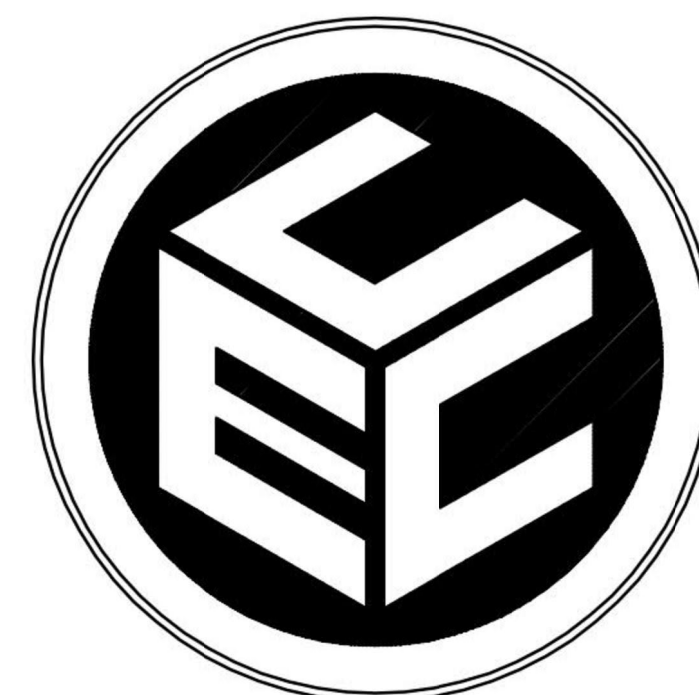


PERMITTING PLANS
FOR
EDEN PARK ELEMENTARY SCHOOL
180 OAKLAND AVENUE
A.P. 9-3 LOT 2847
IN
CRANSTON, RHODE ISLAND

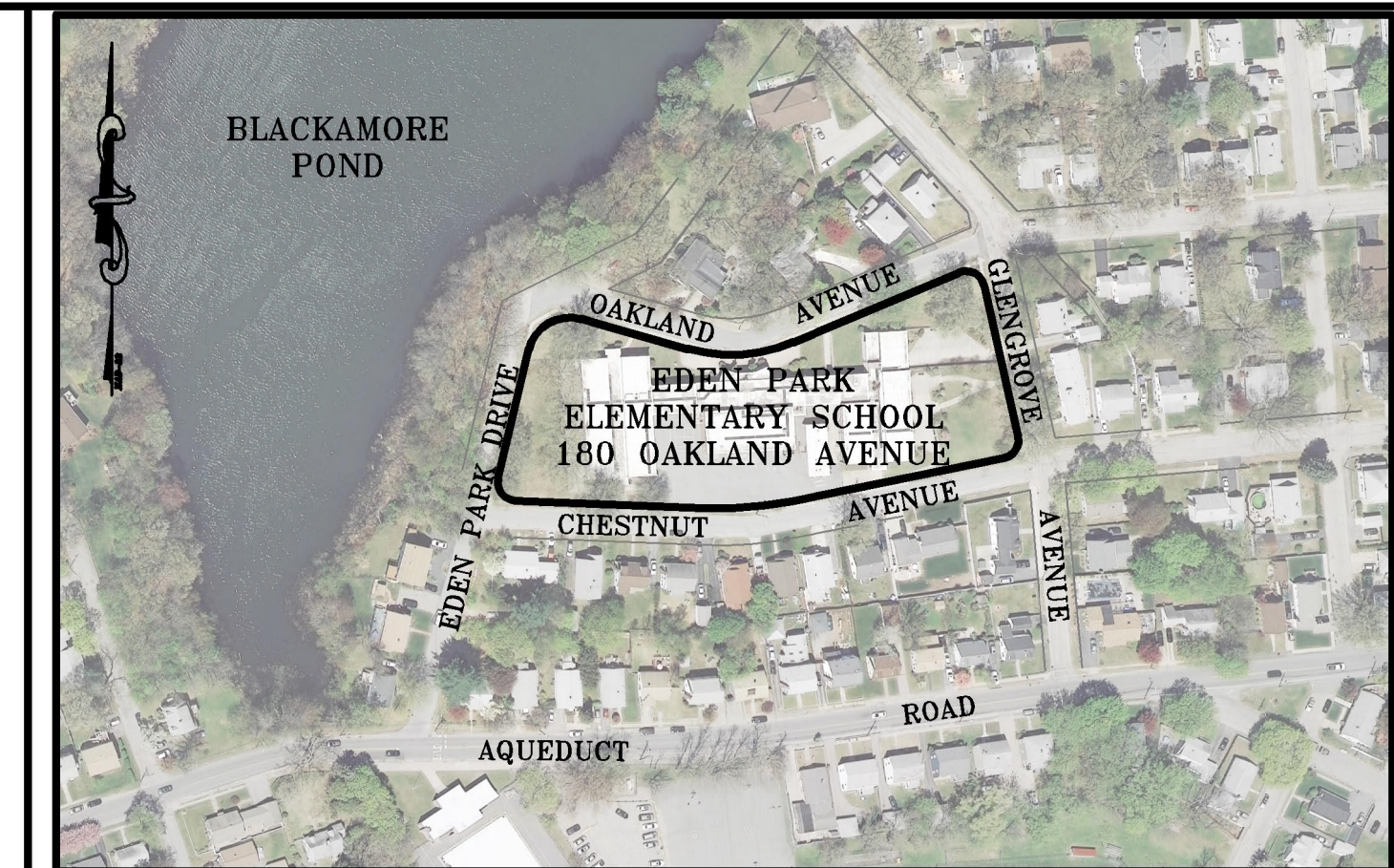
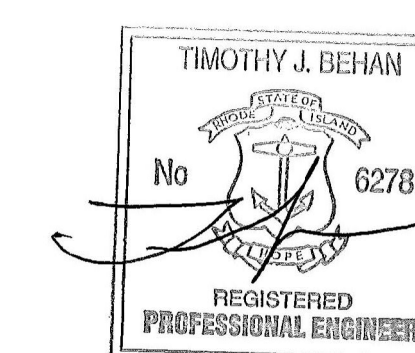
OWNER/APPLICANT:
CRANSTON PUBLIC SCHOOL DISTRICT
845 PARK AVENUE
CRANSTON, RI 02910



COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
TELEPHONE: (401) 273-6600

DATE: DECEMBER 2021



LOCUS/LOCATION MAP
SCALE: 1"=200'

SHEET INDEX

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PARCEL/ZONING DATA

PARCEL: A.P. 9-3 LOT 2847 2.29± AC

ZONE B1 (BUSINESS 1)

MINIMUM LOT AREA:	6,000 SF
MINIMUM LOT WIDTH & FRONTAGE:	60'
MINIMUM SETBACKS:	FRONT YARD - 25' REAR YARD - 20' SIDE YARD - 8'
MAXIMUM LOT COVERAGE:	35%
MAXIMUM BUILDING HEIGHT:	35'

LOCAL/STATE/FEDERAL PERMITS REQUIRED:

1. CITY OF CRANSTON DEVELOPMENT PLAN REVIEW (DPR) APPROVAL
2. CITY OF CRANSTON ZONING BOARD APPROVAL
3. NATIONAL GRID ELECTRIC SERVICE MODIFICATION
4. PROVIDENCE WATER SUPPLY BOARD (PWSB) FIRE SERVICE MODIFICATION
5. CITY OF CRANSTON DEPARTMENT OF PUBLIC WORKS (DPW) ROAD CUT APPROVAL

GENERAL NOTES:

1. THESE PLANS ARE ISSUED FOR PERMITTING REVIEW AND APPROVAL ONLY, AND ARE NOT ISSUED FOR CONSTRUCTION. PLANS MAY BE SUBJECT TO REVISIONS AND CONDITIONS OF LOCAL/STATE APPROVALS.
2. THE LOCATION AND ELEVATION FOR ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE, AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY CROSSINGS OF PROPOSED UTILITIES AND EXISTING UTILITIES. ANY DISCREPANCIES IN THE LOCATION OF ANY UTILITY SHOWN OR ENCOUNTERED DURING CONSTRUCTION SHALL BE REPORTED TO COMMONWEALTH ENGINEERS & CONSULTANTS, INC. 400 SMITH STREET, PROVIDENCE, RHODE ISLAND 02908; (401) 273-6600.
3. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-800-344-7233) A MINIMUM OF 72 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
4. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES, AND ABUTTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.
5. UNLESS OTHERWISE NOTED OR AUTHORIZED, RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) APPROVED MATERIALS SHALL BE USED; REFER TO RIDOT'S APPROVED MATERIAL LIST.
6. CONSTRUCT ALL WORK IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF RIDOT, THE CITY OF CRANSTON, NATIONAL GRID, AND APPLICABLE MANUFACTURER'S RECOMMENDATIONS.

PROJECT NO. 21052.00

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
ABUTTER LINE	---	---
ZONING SETBACK LINE	---	---
SOIL EVALUATION	SE-##	
SAWCUT LIMIT		=====
LIMIT OF DISTURBANCE	---100'---100'---	
EDGE OF PAVEMENT	=====	=====
BACK OF BERM	=====	=====
BUILDING	=====	=====
FENCELINE	=====	=====
STONE WALL	=====	=====
RETAINING WALL	=====	=====
CONTOUR LINE	##	##
SPOT GRADE	###	###
UTILITY POLE	○	○
WATER MAIN	○	○
WATER GATE VALVE	⊗	⊗
WATER CURB STOP	⊗	⊗
HYDRANT	⊗	⊗
SEWER MAIN	○	○
SEWER MANHOLE	⊗	⊗
DRAIN PIPE (≤18"ø)	○	○
DRAIN PIPE (>18"ø)	○	○
DRAIN MANHOLE	⊗	⊗
DRAIN INLET (CATCH BASIN)	⊗	⊗
GAS MAIN	○	○
GAS GATE VALVE	⊗	⊗

ABBREVIATIONS

APPROX	APPROXIMATE
BIT	BITUMINOUS
BOT	BOTTOM
BOW	BOTTOM OF WALL REVEAL FINISH GRADE
	(ACTUAL BASE OF WALL WILL BE LOWER THAN SURFACE ELEVATION)
CB	CATCH BASIN
CEM	CEMENT
CF	CUBIC FEET
CFS	CUBIC FEET PER SECOND
CL	CENTERLINE
CL##	PRESSURE RATING CLASS
CLDI	CEMENT-LINED DUCTILE IRON
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARD
DG	DOUBLE-GRATE
DMH	DRAIN MANHOLE
DVWY	DRIVEWAY
ELEV	ELEVATION
EX	EXISTING
ESHGWT	ESTIMATED SEASONAL HIGH GROUNDWATER TABLE
GWT	GROUNDWATER TABLE
HDPE	HIGH-DENSITY POLYETHYLENE
HMA	HOT MIX ASPHALT
INV	INVERT
L	LENGTH
LOD	LIMIT OF DISTURBANCE
LT	LEFT
MAX	MAXIMUM
MCU	MODULAR CONCRETE UNIT
MIN	MINIMUM
PROP	PROPOSED
PVC	POLY-VINYL CHLORIDE
PSI	POUNDS PER SQUARE INCH (PRESSURE RATING)
PC	POINT OF CURVATURE
PT	POINT/POINT OF TANGENCY
PVI	POINT OF VERTICAL INFLECTION
R&D	REMOVE & DISPOSE
R&R	REMOVE & RESET
R&S	REMOVE & STOCKPILE
RCP	REINFORCED CONCRETE PIPE
RT	RIGHT
SCH	SCHEDULE (PIPES)
SDR	STANDARD DIMENSION RATIO (PIPES)
SDWK	SIDEWALK
SESC	SOIL EROSION & SEDIMENTATION CONTROL
SEV	SOIL EVALUATION
SF	SQUARE FEET
SG	SINGLE-GRATE
SMH	SEWER MANHOLE
SS	STAINLESS STEEL
STA	STATION
SY	SQUARE YARD
TH	TEST HOLE
TOW	TOP OF WALL
VERT	VERTICAL
W	WIDTH
WF	WETLAND FLAG
WLKWY	WALKWAY
WQ	WATER QUALITY
YR	YEAR
'	FEET
"	INCHES
','	VERTICAL FEET/HORIZONTAL FOOT

GENERAL NOTES:

- THESE PLANS HAVE BEEN ISSUED FOR LOCAL AND/OR STATE AGENCY REVIEW. ONLY PLANS STAMPED 'ISSUED FOR CONSTRUCTION' AFTER RECEIPT OF ALL LOCAL AND STATE APPROVALS SHALL BE USED FOR CONSTRUCTION.
- SPECIFICATIONS & DETAILS GOVERNING THIS PROJECT ARE THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, 2013 EDITION & CITY OF CRANSTON SUBDIVISION & LAND DEVELOPMENT STANDARDS. THE CITY'S STANDARDS SHALL OVERRIDE RIDOT STANDARDS OUTSIDE OF STATE R.O.W.'S.
- THE CONTRACTOR SHALL READ AND FAMILIARIZE ITSELF WITH THE CITY'S SUBDIVISION & LAND DEVELOPMENT REGULATIONS (AS THEY PERTAIN TO CONSTRUCTION) PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONSTRUCT THE PROPOSED SITE IMPROVEMENTS AND DRAINAGE SYSTEM IN ACCORDANCE WITH THE CITY'S SPECIFICATIONS FOR CONSTRUCTION OF REQUIRED IMPROVEMENTS, AS SPECIFIED IN THE CITY'S SUBDIVISION & LAND DEVELOPMENT REGULATIONS.
- ANY REQUIRED AUTHORIZATION/PERMITS TO PERFORM WORK NOT PREVIOUSLY SECURED & PROVIDED BY THE OWNER SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION; THE CONTRACTOR SHALL ADHERE TO THE TERMS, CONDITIONS AND REQUIREMENTS OF ALL STATE & LOCAL PERMITS ISSUED FOR THE PROJECT.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY CONSTRUCTION OPERATIONS, INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL ASPECTS OF ON-SITE SAFETY, INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- ALL ELEVATIONS ON SUBJECT PROPERTY ARE BASED ON NAVD88 DATUM, AND HAVE A POTENTIAL VERTICAL VARIANCE OF 1± FEET.
- NO EXISTING DRAINAGE STRUCTURE OR FACILITY SHALL BE ALTERED OR DISTURBED UNLESS SPECIFICALLY INDICATED ON THESE DRAWINGS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO REPAIR.
- ALL DISTURBED AREAS/STRUCTURES SHALL BE REPLACED IN-KIND, UNLESS OTHERWISE SHOWN OR AUTHORIZED BY THE OWNER AND/OR CITY.
- THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS, AND SHALL INSPECT THE SITE, ANY CHANGES TO THE PROJECT, OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED, SHALL BE REVIEWED BY, AND MUST BE ACCEPTABLE TO, THE ENGINEER.
- THE ABSENCE OF PARTICULAR DETAILS OR SPECIFICATIONS FOR WORK CALLED FOR ON THE PLANS SHALL NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE PROPOSED WORK.
- ALL CONSTRUCTION IS SUBJECT TO THE INSPECTION OF AND APPROVAL BY THE OWNER AND/OR CITY. PROPER NOTIFICATION SHALL BE GIVEN PRIOR TO THE COMMENCEMENT OF ANY WORK, AND NO WORK SHALL PROCEED WITHOUT THE AUTHORIZATION OF THE CITY.
- PRIOR TO THE START OF CONSTRUCTION, THE APPROVED LIMIT OF DISTURBANCE SHALL BE LOCATED AND FIELD-DELINEATED BY A R.I. PLS; NO CLEARING OR DISTURBANCE SHALL TAKE PLACE OUTSIDE THE ESTABLISHED LIMIT AT ANY POINT DURING CONSTRUCTION, UNLESS EXPLICITLY AUTHORIZED BY THE CITY.
- PRIOR TO THE START OF EARTH-DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL ALL SEDIMENT & SOIL EROSION CONTROL (SESC) DEVICES IN ACCORDANCE WITH RIDEM & CITY STANDARDS.
- COMMUNICATION LINES (ELECTRIC, TELEPHONE, AND CABLE TV) SHALL BE INSTALLED UNDERGROUND, UNLESS OVERHEAD SERVICE IS APPROVED BY THE CITY.
- ALL ROOT SYSTEMS, TREES, STUMPS, BUSHES, BOULDERS AND OTHER UNSUITABLE MATERIAL SHALL BE REMOVED AND TRANSPORTED AWAY FROM THE PROJECT SITE, UNLESS ON-SITE DISPOSAL AT AN APPROPRIATE LOCATION (OR LOCATIONS) IS APPROVED BY THE OWNER.
- MANHOLE AND CATCH BASIN FRAME & COVERS SHALL BE ADJUSTED TO FINISH GRADE WITH RED BRICK AND MORTAR. OTHER TYPES OF BRICK AND/OR PRECAST CONCRETE RINGS ARE NOT ACCEPTABLE. GRATES SHALL BE SET 0.1 FEET BELOW ROAD GRADE. MANHOLES SHALL BE CONSTRUCTED SO AT LEAST ONE COURSE OF BRICKS IS BENEATH THE FRAME.
- ALL MANHOLE AND CATCH BASIN FRAME & COVERS SHALL BE ADJUSTED TO THE FIRST COURSE OF PAVEMENT. THE FRAME AND COVERS SHALL BE RE-ADJUSTED IMMEDIATELY PRIOR TO PLACEMENT OF THE SECOND COURSE OF PAVEMENT.
- ALL HDPE PIPE SHALL BE ADS N-12 INTEGRAL BELL WATER-TIGHT PIPE OR APPROVED EQUAL.

EXISTING CONDITIONS/UTILITIES NOTES:

- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH 'DIG SAFE'. NO DRAINAGE STRUCTURE OR FACILITY SHALL BE DISTURBED WITHOUT PROPER PERMITS UNLESS SPECIFICALLY INDICATED ON THESE DRAWINGS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL EXISTING UTILITIES HAVE BEEN PLOTTED BASED UPON THE BEST INFORMATION AVAILABLE AT THE TIME OF PLAN PREPARATION AND REPRESENT APPROXIMATE LOCATIONS. SOME OBSTRUCTIONS, OBSTACLES, OR DIFFICULTIES IN THE PATH OF THE WORK, EITHER ANTICIPATED OR DISCOVERED IN THE PERFORMANCE OF THE WORK, MAY NOT HAVE BEEN INDICATED BY DRAWINGS. THE CONTRACTOR SHALL BE UNDERSTOOD TO HAVE ENTERED INTO THE CONTRACT WITH FULL KNOWLEDGE THAT IN ANY WORK INVOLVING EXCAVATION OPERATIONS IN PUBLIC HIGHWAYS OR ADJACENT TO OTHER DEVELOPMENTS, SOME UNFORESEEN OBSTACLES, DIFFICULTIES, SOIL, OR GROUND WATER CONDITIONS, ETC., MAY BE ENCOUNTERED, AND THAT THE CONTRACTOR HAS INCLUDED IN HIS BID AND CONTRACT OBLIGATIONS THE ASSUMPTIONS OF THE RISKS AND COSTS TO WHICH SUCH OBSTACLES, ETC. MAY SUBJECT HIM/HER.
- THE LOCATION OF EXISTING UNDERGROUND PIPES, CONDUITS, AND STRUCTURES AS SHOWN HAS BEEN COLLECTED FROM THE BEST AVAILABLE SOURCES, AND THE OWNER, TOGETHER WITH HIS AGENTS, DOES NOT IMPLY OR GUARANTEE THE DATA AND INFORMATION IN CONNECTION WITH UNDERGROUND PIPES, CONDUITS, STRUCTURES, AND SUCH OTHER PARTS, AS TO THEIR COMPLETENESS, NOR THEIR LOCATIONS AS INDICATED. THE CONTRACTOR SHALL ASSUME THAT THERE ARE EXISTING WATER, GAS AND OTHER UTILITY CONNECTIONS IN ROUTE, WHETHER THEY APPEAR ON THE DRAWINGS OR NOT. ANY EXPENSE AND/OR DELAY OCCASIONED BY UTILITIES AND STRUCTURES OR DAMAGE THERETO, INCLUDING THOSE NOT SHOWN, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- BEFORE PROCEEDING WITH CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MAKE SUCH SUPPLEMENTAL INVESTIGATIONS, INCLUDING EXPLORATORY EXCAVATIONS BY HAND DIGGING, AS DEEMED NECESSARY TO UNCOVER AND DETERMINE THE EXACT LOCATIONS OF UTILITIES AND STRUCTURES AND SHALL HAVE NO CLAIMS FOR DAMAGES DUE TO ENCOUNTERING SUBSURFACE STRUCTURES OR UTILITIES IN LOCATIONS OTHER THAN THOSE SHOWN ON THE DRAWINGS, OR WHICH ARE MADE KNOWN TO THE CONTRACTOR PRIOR TO CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ALL DAMAGES TO EXISTING UTILITIES AND STRUCTURES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A R.I. PROFESSIONAL LAND SURVEYOR TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING AND PROPOSED UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW.
- ANY DAMAGE TO EXISTING PAVEMENT, BRIDGES, CONDUIT, SIDEWALK, FENCES, ETC., CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER/STATE/CITY.
- WHENEVER IT MAY BE NECESSARY TO CROSS OR INTERFERE WITH EXISTING CULVERTS, DRAINS, SEWERS, WATER MAINS, FIXTURES, GUARDRAILS, FENCES, GAS LINES, OR OTHER STRUCTURES REQUIRING SPECIAL CARE, DUE NOTICE SHALL BE GIVEN TO THE OWNER. WHENEVER REQUIRED, ALL OBJECTS SHALL BE STRENGTHENED TO MEET ANY ADDITIONAL STRESS THAT THE WORK HEREIN SPECIFIED MAY IMPOSE UPON IT, AND ANY DAMAGE CAUSED SHALL BE THOROUGHLY REPAIRED. THE ENTIRE WORK SHALL BE PERFORMED AT NO EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BROKEN MAINS OR UTILITIES ENCOUNTERED DURING THE PROGRESS OF THE WORK AND SHALL REPAIR AND BE RESPONSIBLE FOR CORRECTING ALL DAMAGES TO EXISTING UTILITIES, STRUCTURES AND PERSONAL "PROPERTY" WHICH MAY HAVE BEEN CAUSED BY BROKEN LINES AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL CONTACT THE PROPER UTILITY OR AUTHORITY TO CORRECT OR MAKE ANY CHANGES DUE TO UTILITIES OR OTHER OBSTRUCTIONS DURING CONSTRUCTION, BUT THE ENTIRE RESPONSIBILITY AND EXPENSE SHALL BE WITH THE CONTRACTOR. ALL DAMAGED ITEMS OF WORK OR ITEMS REQUIRED TO BE REMOVED AND REPLACED DUE TO CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR TO THE COMPLETE SATISFACTION OF THE OWNER, AND AT NO ADDITIONAL EXPENSE TO THE OWNER.

SUBSURFACE CONDITIONS NOTES:

- ALL SOIL AND TEST HOLE DATA, WATER TABLE ELEVATIONS, AND SOIL ANALYSIS SHOWN/REFERENCED ON THE DRAWINGS OR INCLUDED IN THE SPECIFICATIONS APPLY ONLY AT THE LOCATION OF THE TEST HOLES AND TO THE DEPTHS INDICATED. SOIL TEST REPORTS ARE AVAILABLE FOR INSPECTION AT THE OFFICE OF THE DESIGN ENGINEER. ANY ADDITIONAL SUBSURFACE EXPLORATION SHALL BE DONE BY THE CONTRACTOR AT THEIR OWN EXPENSE. IT IS UNDERSTOOD THAT THE MAKING OF THE DEDUCTIONS, INTERPRETATIONS AND CONCLUSIONS FROM ALL THE ACCESSIBLE FACTUAL INFORMATION, INCLUDING THE NATURE OF THE MATERIALS TO BE EXCAVATED, THE DIFFICULTIES OF MAKING AND MAINTAINING THE REQUIRED EXCAVATIONS, AND THE DIFFICULTIES OF DOING OTHER WORK AFFECTED BY THE GEOLOGY AND OTHER SUBSURFACE CONDITIONS AT THE SITE OF THE WORK, ARE THE CONTRACTOR'S SOLE RESPONSIBILITY.
- THE INDICATED ELEVATION OF THE WATER TABLE IS THAT EXISTING AT THE DATE THE TEST HOLE DATA WAS DETERMINED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND ALLOW FOR THE ELEVATION OF GROUNDWATER AT THE DATE OF PROJECT CONSTRUCTION. A DIFFERENCE IN ELEVATION BETWEEN GROUNDWATER SHOWN IN SOIL LOGS AND GROUNDWATER ACTUALLY ENCOUNTERED DURING CONSTRUCTION WILL NOT BE CONSIDERED AS A BASIS FOR EXTRA WORK.
- ESTIMATED SEASONAL HIGH WATER TABLES ARE FOR CONSTRUCTION OF ON-SITE STORMWATER MANAGEMENT SYSTEMS ONLY, AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE. ESTIMATED SEASONAL HIGH WATER TABLES MAY BE EXCEEDED PERIODICALLY.

CONSTRUCTION NOTES:

- OWNER SHALL RETAIN THE SERVICES OF A RHODE ISLAND PROFESSIONAL ENGINEER TO REVIEW AND APPROVE SHOP DRAWINGS, SAMPLES, AND OTHER SUBMITTALS OF THE CONTRACTOR FOR CONFORMANCE WITH THE DESIGN CONCEPT (THIS PLAN SET) AND CITY REGULATIONS, WHICH INCLUDE (BUT ARE NOT LIMITED TO) THE FOLLOWING:
 - DRAINAGE SYSTEM SHOP DRAWINGS/SKETCHES FOR PIPE, PIPE JOINTS, PIPE BEDDING/BACKFILL MATERIALS (SIEVE ANALYSIS, ETC.), COMPACTION METHODS, MANHOLE STRUCTURES, FRAME & COVERS, FRAME & GRATES, FRAME & COVER ADJUSTMENT METHODS TO FINISH GRADE, PROPOSED RIM ELEVATIONS, PIPE INVERTS AND PIPE DIAMETERS. ANY SUBSTANTIAL CHANGES TO THE DESIGN CONCEPT SHALL BE BROUGHT TO THE CITY'S ATTENTION.
 - ROADWAY CONSTRUCTION SHOP DRAWINGS/SKETCHES FOR GRAVEL BASE MATERIALS, BITUMINOUS CONCRETE COURSES, SIGNAGE/STRIPING, RETAINING WALLS AND CURBING/BERMS.
 - SOIL EROSION CONTROL AND DEWATERING METHODS.
 - COMPACTION METHODS FOR INSTALLING PIPE/MANHOLES, GRAVEL ROAD BASE AND BITUMINOUS CONCRETE COURSES.
 - TESTING METHODS AND TESTING FREQUENCY FOR DRAINAGE AND ROAD SYSTEMS. TESTING FREQUENCY SHALL BE IN ACCORDANCE WITH RIDOT AND TYPICAL ENGINEERING STANDARDS.
- THE SHOP DRAWING SUBMITTAL PACKAGE SHALL BE STAMPED BY A RHODE ISLAND PROFESSIONAL ENGINEER AND SUBMITTED TO THE CITY/CITY ENGINEER FOR REVIEW AND APPROVAL. SHOP DRAWING RECORDS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT, INCLUDING THE WARRANTY PERIOD.
- MARKED-UP CONSTRUCTION DRAWINGS SHALL BE MAINTAINED AND KEPT AT THE JOB SITE FOR THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL PREPARE AND SUBMIT AS-BUILT DRAWINGS IN ACCORDANCE WITH CITY REGULATIONS; AS-BUILTS SHALL BE STAMPED BY A R.I. PROFESSIONAL LAND SURVEYOR AND R.I. PROFESSIONAL ENGINEER.
- PRIOR TO ACCEPTANCE OF INFRASTRUCTURE, A R.I. P.E. SHALL CERTIFY THE INFRASTRUCTURE WAS INSTALLED IN ACCORDANCE WITH THE DESIGN INTENT AND MEETS RIDOT/CITY STANDARDS & PERMIT STIPULATIONS, AND IS READY FOR USE.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC DURING CONSTRUCTION, INCLUDING POLICE PROTECTION, ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE MAY 2012 MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), INCLUDING ALL SUBSEQUENT REVISIONS.
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN THE STREET RIGHT-OF-WAYS UNLESS EXPLICITLY AUTHORIZED BY THE OWNER.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

EARTHWORK NOTES:

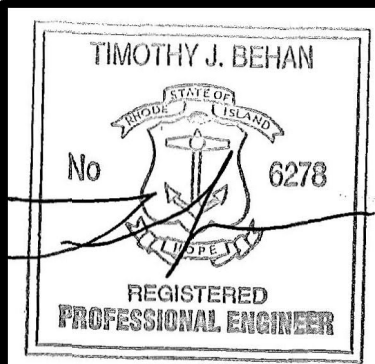
- SPECIFICATIONS & DETAILS TO GOVERN THIS PROJECT ARE THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION – AUGUST 2013 EDITION (INCLUDING ALL SUBSEQUENT ADDENDA) AS WELL AS CITY STANDARDS; WHERE APPLICABLE, THE CITY'S STANDARDS SHALL OVERRIDE RIDOT STANDARDS.
- RIDOT STANDARDS ARE AVAILABLE FOR DOWNLOAD FROM THE RIDOT WEBSITE UNDER 'STANDARDS AND SPECIFICATIONS' (WWW.RIDOT.STATE.RI.US/ENGINEERING/STANDARDS/INDEX.ASP). CITY STANDARDS ARE AVAILABLE FOR DOWNLOAD FROM THE CITY OF CRANSTON WEBSITE.
- EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE A MINIMUM 4" OF TOPSOIL AND GRASS SEED, UNLESS OTHERWISE NOTED.
- ALL EXCAVATION AND PLACEMENT OF FILL SHALL BE IN ACCORDANCE WITH R.I.D.O.T. STANDARD SPECIFICATIONS SECTION 202 AND CITY OF CRANSTON SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. ALL MATERIALS AND METHODS SHALL BE PERFORMED IN ACCORDANCE WITH THESE STANDARDS AND SPECIFICATIONS. ALL FILL BENEATH PAVEMENTS SHALL BE GRAVEL AS DEFINED IN THE RIDOT SPECIFICATIONS.
- ALL AREAS COMPACTED BY CONSTRUCTION ACTIVITIES (OTHER THAN ROADWAYS AND BENEATH STRUCTURES) SHALL BE RESTORED TO PROMOTE INFILTRATION BY TILLING THE TOP 12 INCHES OF SOIL PRIOR TO FINAL STABILIZATION.
- ALL UNSUITABLE MATERIAL (LOAM, SUBSOIL, ROOTS, TREE TRUNKS, CLAY, SILT, ORGANIC MATTER, LARGE STONES, ETC.) SHALL BE REMOVED FROM HARDSCAPE AREA (PAVEMENT, SIDEWALKS, WALKWAYS) SUB-GRADES AND EMBANKMENT AREAS PRIOR TO THE PLACEMENT OF THE GRAVEL SUBBASE/BERM MATERIAL, AS DIRECTED AND APPROVED.
- SUITABLE SURPLUS MATERIAL GENERATED BY EXCAVATIONS WITHIN THE PROJECT AREA (SAND, GRAVEL, LOAM, ETC.) SHALL BE RE-USED, TO THE EXTENT POSSIBLE, IN OTHER LOCATIONS WITHIN THE PROJECT AREA; MINING OF SITE MATERIALS (I.E. REMOVAL OF SUITABLE IN-SITU MATERIALS FROM THE SITE AND REPLACEMENT WITH IMPORTED BORROW MATERIALS) SHALL NOT BE PERMITTED.

GROUNDWATER REMOVAL & PROTECTION FROM FLOODING NOTES:

- SOME EXCAVATIONS FOR PIPELINES, STRUCTURES, AND APPURTENANT WORK REQUIRED MAY OCCUR BELOW EXISTING GROUNDWATER LEVELS.
- THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL PUMPS, DRAINS, WELL POINTS AND/OR ANY OTHER FACILITIES FOR THE CONTROL, COLLECTION, AND DISPOSAL OF GROUNDWATER OR SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK, AND SHALL PROVIDE ALL PUMPS, PIPING, AND DITCHING FOR THE REMOVAL OF WATER FROM THE TRENCHES AND EXCAVATIONS SO THAT ALL TRENCHES AND EXCAVATIONS MAY BE KEPT FREE FROM WATER AT ALL TIMES, AND SO THAT THE WORK MAY BE PERFORMED IN THE DRY.
- DEWATERING OF EXCAVATIONS SHALL BE ACCOMPLISHED BY METHODS THAT HAVE BEEN APPROVED PRIOR TO COMMENCEMENT OF WORK BY THE ENGINEER, AND WHICH HAVE A BACKGROUND OF SUCCESSFUL DEWATERING OF EXCAVATIONS OF THE TYPE TO BE EMPLOYED FOR THE WORK.
- PUMPING SHALL BE CONTINUOUS WHERE DIRECTED AND/OR AS NECESSARY TO PROTECT THE WORK, AND TO MAINTAIN SATISFACTORY PROGRESS OF SAME.
- THE CONTRACTOR'S DEWATERING AND PUMPING OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT NO LOSS OF GROUND WILL RESULT FROM THESE OPERATIONS. ANY DAMAGE TO EXISTING FEATURES OR TO THE CONTRACT WORK RESULTING FROM THE CONTRACTOR'S DEWATERING OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR, AS DIRECTED BY THE OWNER, AT NO ADDITIONAL EXPENSE TO THE OWNER. PRECAUTIONS SHALL BE TAKEN TO PROTECT NEW AND EXISTING WORK FROM FLOODING OR DAMAGE DURING STORMS OR OTHER CAUSES.
- ALL PIPELINES OR STRUCTURES NOT STABLE AGAINST UPLIFT DURING CONSTRUCTION OR PRIOR TO COMPLETION SHALL BE THOROUGHLY BRACED OR OTHERWISE PROTECTED.
- WATER FROM THE TRENCHES, EXCAVATIONS, AND DRAINAGE OPERATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS WILL CAUSE NEITHER INJURY TO PUBLIC HEALTH OR PRIVATE PROPERTY, NOR DAMAGE TO THE WORK COMPLETED OR IN PROGRESS.
- THE CONTRACTOR SHALL CONSTRUCT DITCHES, ESTABLISH GRADING, AND PERFORM ANY AND ALL OTHER WORK AS MAY BE NECESSARY TO DIVERT AND PREVENT SURFACE WATER AND WATER FROM DEWATERING OPERATIONS FROM ENTERING EXCAVATION AND WORK AREAS.

STORMWATER SYSTEM OPERATION & MAINTENANCE NOTES:

- INSPECTIONS AND PROPER MAINTENANCE ARE ESSENTIAL FOR THE LONGEVITY OF THE DRAINAGE SYSTEMS. THE DRAINAGE SYSTEM SHALL BE INSPECTED IN ACCORDANCE WITH THE OPERATION AND MAINTENANCE (O&M) PLAN PREPARED SPECIFICALLY FOR THIS PROJECT.
- THE CRANSTON PUBLIC SCHOOL DISTRICT (CPSD) SHALL BE RESPONSIBLE FOR ALL SITE STORMWATER STRUCTURES (CATCH BASINS, DRAIN MANHOLES, PIPING, WATER QUALITY UNITS, SEDIMENT FOREBAYS & UNDERGROUND CHAMBER SAND FILTERS).
- PERSONNEL PERFORMING THE MAINTENANCE OF THE STORMWATER SYSTEM, WHETHER IN-HOUSE EMPLOYEES OF THE CPSD OR OUTSIDE CONTRACTORS, SHALL BE PROPERLY TRAINED AND EXPERIENCED WITH THE MAINTENANCE REQUIREMENTS DETAILED IN THE O&M PLAN FOR THIS DEVELOPMENT, AS WELL AS THE 'RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL', LATEST EDITION (KNOWN AS THE 'MANUAL').



PERMITTING PLANS
FOR
EDEN PARK ELEMENTARY SCHOOL
180 OAKLAND AVENUE
A.P. 9-3, LOT 2847
CRANSTON, RHODE ISLAND
LEGEND, NOTES & ABBREVIATIONS

SCALE: NONE		SHEET NO: 2 OF 12	
DRAWN BY: MCZ	DESIGN BY: MCZ	CHECKED BY: TJB	
DATE: DECEMBER 2021		PROJECT NO.: 21052.00	

DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:

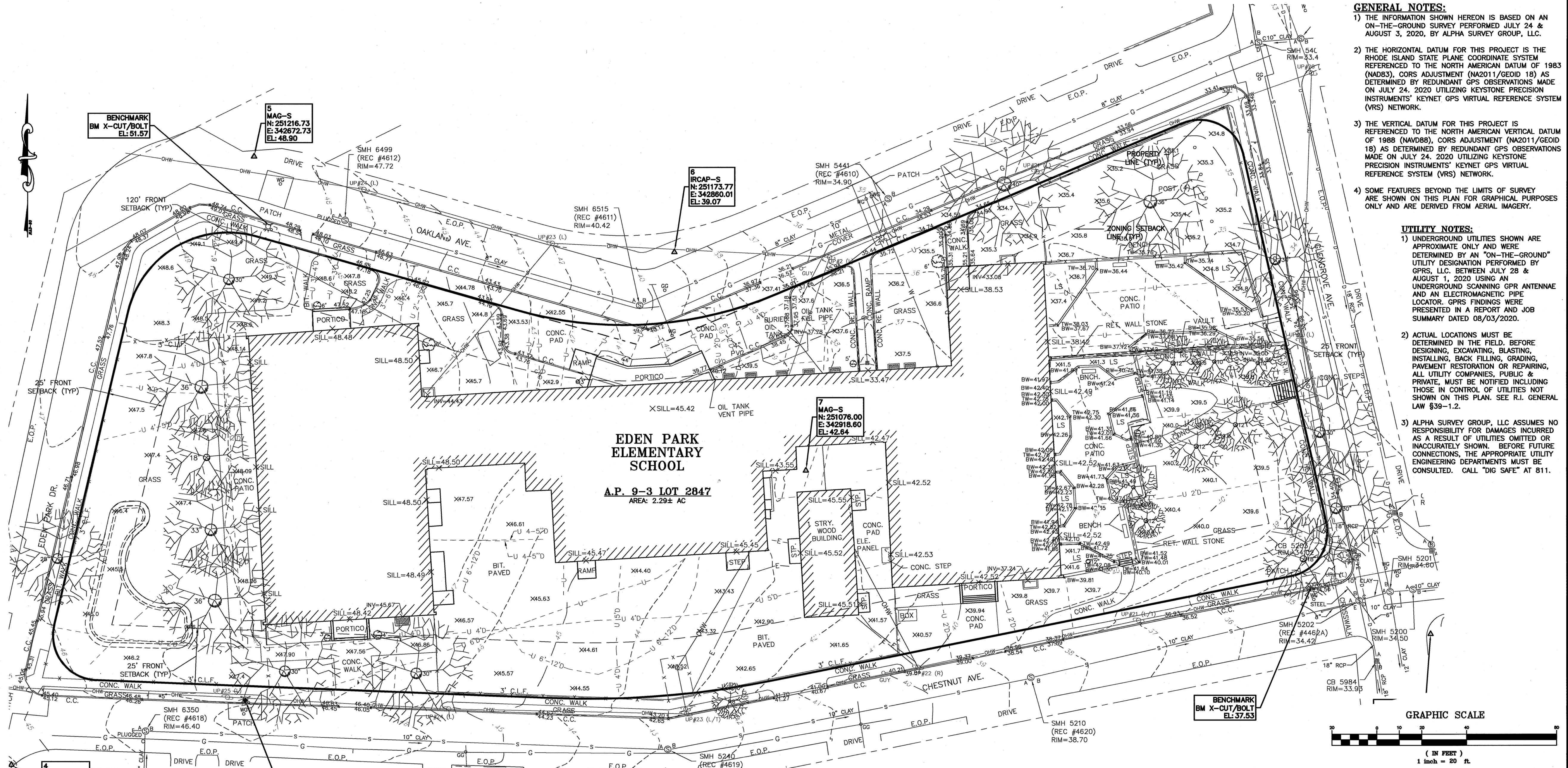
ONLY PLANS ISSUED FOR CONSTRUCTION
SHALL BE USED FOR CONSTRUCTION

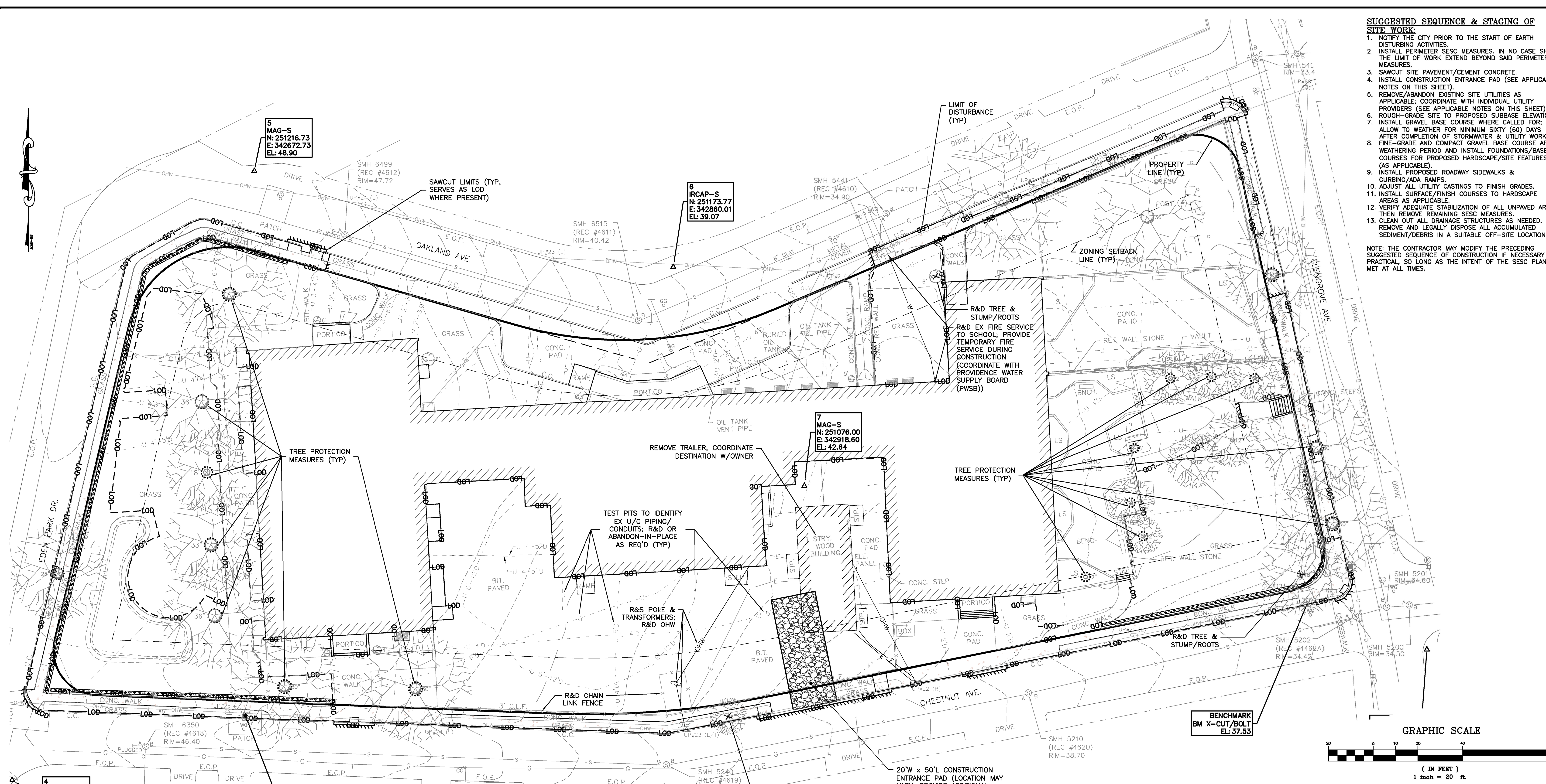
GENERAL NOTES:

- 1) THE INFORMATION SHOWN HEREON IS BASED ON AN ON-THE-GROUND SURVEY PERFORMED JULY 24 & AUGUST 3, 2020, BY ALPHA SURVEY GROUP, LLC.
- 2) THE HORIZONTAL DATUM FOR THIS PROJECT IS THE RHODE ISLAND STATE PLANE COORDINATE SYSTEM REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), CORRS ADJUSTMENT (NA2011/GEOD 18) AS DETERMINED BY REDUNDANT GPS OBSERVATIONS MADE ON JULY 24, 2020 UTILIZING KEYSTONE PRECISION INSTRUMENTS' KEYNET GPS VIRTUAL REFERENCE SYSTEM (VRS) NETWORK.
- 3) THE VERTICAL DATUM FOR THIS PROJECT IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), CORRS ADJUSTMENT (NA2011/GEOD 18) AS DETERMINED BY REDUNDANT GPS OBSERVATIONS MADE ON JULY 24, 2020 UTILIZING KEYSTONE PRECISION INSTRUMENTS' KEYNET GPS VIRTUAL REFERENCE SYSTEM (VRS) NETWORK.
- 4) SOME FEATURES BEYOND THE LIMITS OF SURVEY ARE SHOWN ON THIS PLAN FOR GRAPHICAL PURPOSES ONLY AND ARE DERIVED FROM AERIAL IMAGERY.

UTILITY NOTES:

- 1) UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY AND WERE DETERMINED BY AN "ON-THE-GROUND" UTILITY DESIGNATION PERFORMED BY GPRS, LLC. BETWEEN JULY 28 & AUGUST 1, 2020 USING AN UNDERGROUND SCANNING GPR ANTENNAE AND AN ELECTROMAGNETIC PIPE LOCATOR. GPRS FINDINGS WERE PRESENTED IN A REPORT AND JOB SUMMARY DATED 08/03/2020.
- 2) ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACK FILLING, GRADING, PAVEMENT RESTORATION OR REPAIRING, ALL UTILITY COMPANIES, PUBLIC & PRIVATE, MUST BE NOTIFIED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE R.I. GENERAL LAW §39-1.2.
- 3) ALPHA SURVEY GROUP, LLC ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE FUTURE CONNECTIONS, THE APPROPRIATE UTILITY ENGINEERING DEPARTMENTS MUST BE CONSULTED. CALL "DIG SAFE" AT 811.



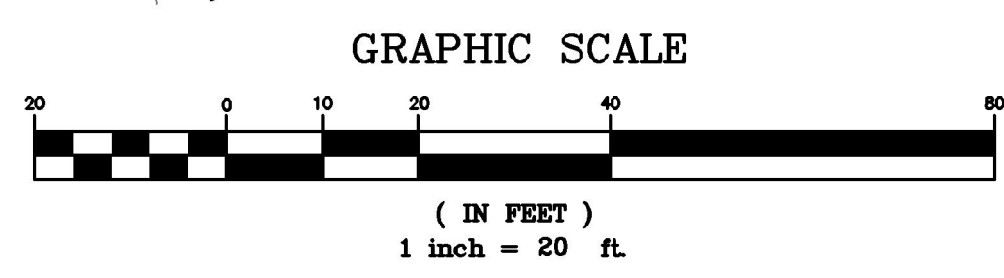


- SUGGESTED SEQUENCE & STAGING OF SITE WORK:**
1. NOTIFY THE CITY PRIOR TO THE START OF EARTH DISTURBING ACTIVITIES.
 2. INSTALL PERIMETER SESC MEASURES. IN NO CASE SHALL THE LIMIT OF WORK EXTEND BEYOND SAID PERIMETER MEASURES.
 3. SAWCUT SITE PAVEMENT/CEMENT CONCRETE.
 4. INSTALL CONSTRUCTION ENTRANCE PAD (SEE APPLICABLE NOTES ON THIS SHEET).
 5. REMOVE/ABANDON EXISTING SITE UTILITIES AS APPLICABLE; COORDINATE WITH INDIVIDUAL UTILITY PROVIDERS (SEE APPLICABLE NOTES ON THIS SHEET).
 6. ROUGH-GRADE SITE TO PROPOSED SUBBASE ELEVATIONS.
 7. INSTALL GRAVEL BASE COURSE WHERE CALLED FOR; ALLOW TO WEATHER FOR MINIMUM SIXTY (60) DAYS AFTER COMPLETION OF STORMWATER & UTILITY WORK.
 8. FINE-GRADE AND COMPACT GRAVEL BASE COURSE AFTER WEATHERING PERIOD AND INSTALL FOUNDATIONS/BASE COURSES FOR PROPOSED HARDSCAPE/SITE FEATURES (AS APPLICABLE).
 9. INSTALL PROPOSED ROADWAY SIDEWALKS & CURBING/ADA RAMPS.
 10. ADJUST ALL UTILITY CASTINGS TO FINISH GRADES.
 11. INSTALL SURFACE/FINISH COURSES TO HARDSCAPE AREAS AS APPLICABLE.
 12. VERIFY ADEQUATE STABILIZATION OF ALL UNPAVED AREAS, THEN REMOVE REMAINING SESC MEASURES.
 13. CLEAN OUT ALL DRAINAGE STRUCTURES AS NEEDED. REMOVE AND LEGALLY DISPOSE ALL ACCUMULATED SEDIMENT/DEBRIS IN A SUITABLE OFF-SITE LOCATION.
- NOTE: THE CONTRACTOR MAY MODIFY THE PRECEDING SUGGESTED SEQUENCE OF CONSTRUCTION IF NECESSARY OR PRACTICAL, SO LONG AS THE INTENT OF THE SESC PLAN IS MET AT ALL TIMES.

- GENERAL SITE PREPARATION NOTES:**
1. PRIOR TO THE START OF EARTH DISTURBING ACTIVITIES, CONTRACTOR SHALL FAMILIARIZE ITSELF WITH THE SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN PREPARED FOR THIS PROJECT, AS WELL AS ALL STATE AND LOCAL PERMITS/APPROVALS ISSUED FOR THE PROJECT.
 2. REFER TO CONSTRUCTION DETAILS 1 FOR CONSTRUCTION PERIOD SOIL EROSION/SEDIMENTATION CONTROL (SESC) MEASURE DETAILS AND NOTES.
- CONSTRUCTION ACCESS NOTES:**
1. ACCESS TO THE SITE MAY BE TAKEN FROM ANY PORTION OF CHESTNUT AVENUE, PROVIDED THAT SAID ACCESS IS WITHIN THE DESIGNATED LIMITS OF DISTURBANCE, AND THAT THE ACCESS IS PROTECTED BY A PROPERLY-CONSTRUCTED CONSTRUCTION ACCESS PAD.
 2. ACCESS TO THE SITE AT LOCATIONS NOT PROTECTED BY AN ACCESS PAD SHALL NOT BE ALLOWED.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, RELOCATING AND PERIODICALLY REFRESHING CONSTRUCTION ACCESS PADS OVER THE COURSE OF THE WORK.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROMPTLY CLEAN ANY DEBRIS/MATERIALS TRACKED ONTO THE LOCAL ROADWAYS.
- EXISTING UTILITY NOTES:**
1. EXISTING UNDERGROUND UTILITIES WITHIN THE SITE AND ROADWAY DEPICTED HEREON ARE BASED ON THE BEST AVAILABLE SURVEYED DATA AND RECORD PLAN INFORMATION. HOWEVER, THE PRECISE NATURE OF SOME DEPICTED UNDERGROUND SITE UTILITIES COULD NOT BE DETERMINED, AND ADDITIONAL UNKNOWN UNDERGROUND UTILITIES MAY BE PRESENT ON SITE.
 2. THE INTENT OF THE DESIGN IS TO PROPERLY RELOCATE (FOR SERVICES TO REMAIN) OR REMOVE/ABANDON-IN-PLACE ALL EXISTING UTILITY CONNECTIONS WITHIN THE PROPOSED BUILDING ADDITION FOOTPRINTS, AND TO INSTALL NEW UTILITY SERVICE CONNECTIONS AS DEPICTED ON THE UTILITY PLAN.
 3. REMOVAL/ABANDONMENT SHALL BE COORDINATED WITH, AND PERFORMED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF, THE RESPECTIVE UTILITY PROVIDERS.
 4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURING ANY AND ALL PERMITS NECESSARY TO ALLOW FOR THE EXISTING UTILITY REMOVAL/ABANDONMENT.
 5. THE CONTRACTOR SHALL PERFORM TEST PIT EXCAVATIONS IN LOCATIONS OF DEPICTED UNIDENTIFIED UTILITY SERVICES TO DETERMINE THE NATURE OF THE SERVICE PRIOR TO THE ABANDONMENT/REMOVAL.

PLAN VIEW

- DRAWING ISSUE:**
- ☐ CONCEPT
 - ☐ CUSTOMER APPROVAL
 - ☒ PERMITTING
 - ☐ CONSTRUCTION
 - ☐ AS-BUILT
 - ☐ OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION



TIMOTHY J. BEHAN
No. 6278
REGISTERED PROFESSIONAL ENGINEER

REVISIONS			
No.	DATE	DRWN	CHKD

COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

PERMITTING PLANS
FOR
EDEN PARK ELEMENTARY SCHOOL
180 OAKLAND AVENUE
A.P. 9-3, LOT 2847
CRANSTON, RHODE ISLAND

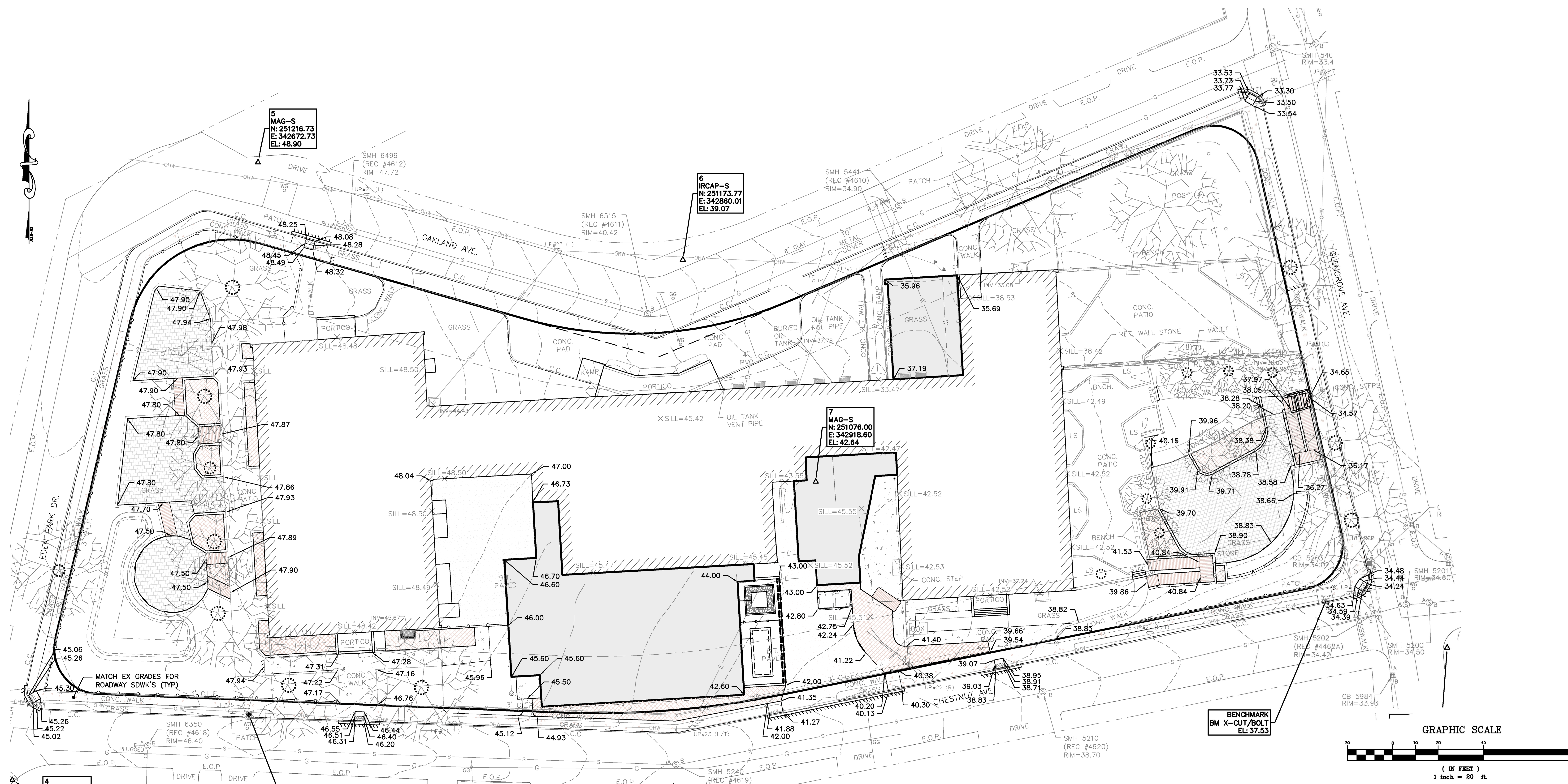
SITE PREPARATION/DEMO PLAN

SCALE: 1" = 20'

SHEET NO: 4 OF 12

DRAWN BY: MCZ DESIGN BY: MCZ CHECKED BY: TJB

DATE: DECEMBER 2021 PROJECT NO.: 21052.00



GRADING NOTES:

1. BOW = BOTTOM OF WALL ELEV
TOW = TOP OF WALL ELEV
2. EXCEPT WHERE ADA RAMPS ARE INDICATED, ALL SITE WALKWAYS HAVE BEEN GRADED TO HAVE A MAXIMUM SLOPE OF < 1:20 (5.0%) FOR ADA COMPLIANCE.

ADA WALKWAY/RAMP DESIGN CRITERIA:

PER THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, THE FOLLOWING DESIGN CRITERIA ARE APPLICABLE TO THIS PROJECT:

CHAPTER 4: ACCESSIBLE ROUTES

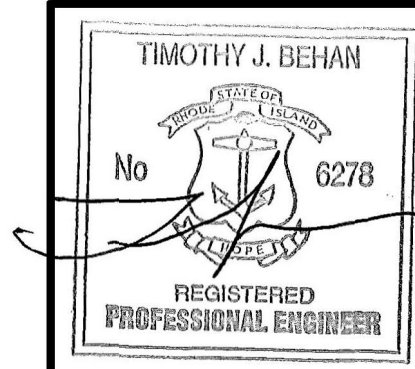
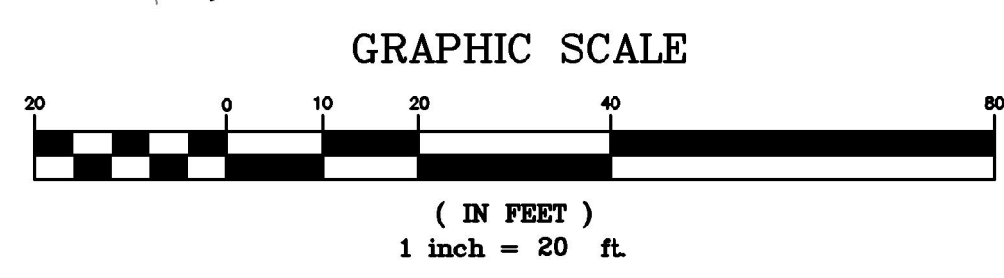
SECTION 401: GENERAL

ACCESSIBLE ROUTES SHALL HAVE RUNNING SLOPES NOT STEEPER THAN 1:20 (5.0%); RAMPS REQUIRED FOR WALKWAY SLOPES >5.0%

SECTION 405: RAMPS

- MINIMUM RAMP RUN CLEAR WIDTH 36"
- MAXIMUM RAMP HEIGHT 30"; HANDRAILS REQ'D FOR RAMPS RUNS WITH RISE > 6"
- MAXIMUM RAMP RUNNING SLOPE 1:12 (8.33%)
- MAXIMUM RAMP CROSS-SLOPE 1:48 (2.08%)
- MINIMUM LANDING LENGTH = 60"
- MINIMUM LANDING WIDTH = MATCH RAMP RUN
- MAXIMUM LANDING SLOPE = 1:48 (2.08%)

PLAN VIEW



REVISIONS			
No.	DATE	DRWN	CHKD

DRAWING ISSUE:

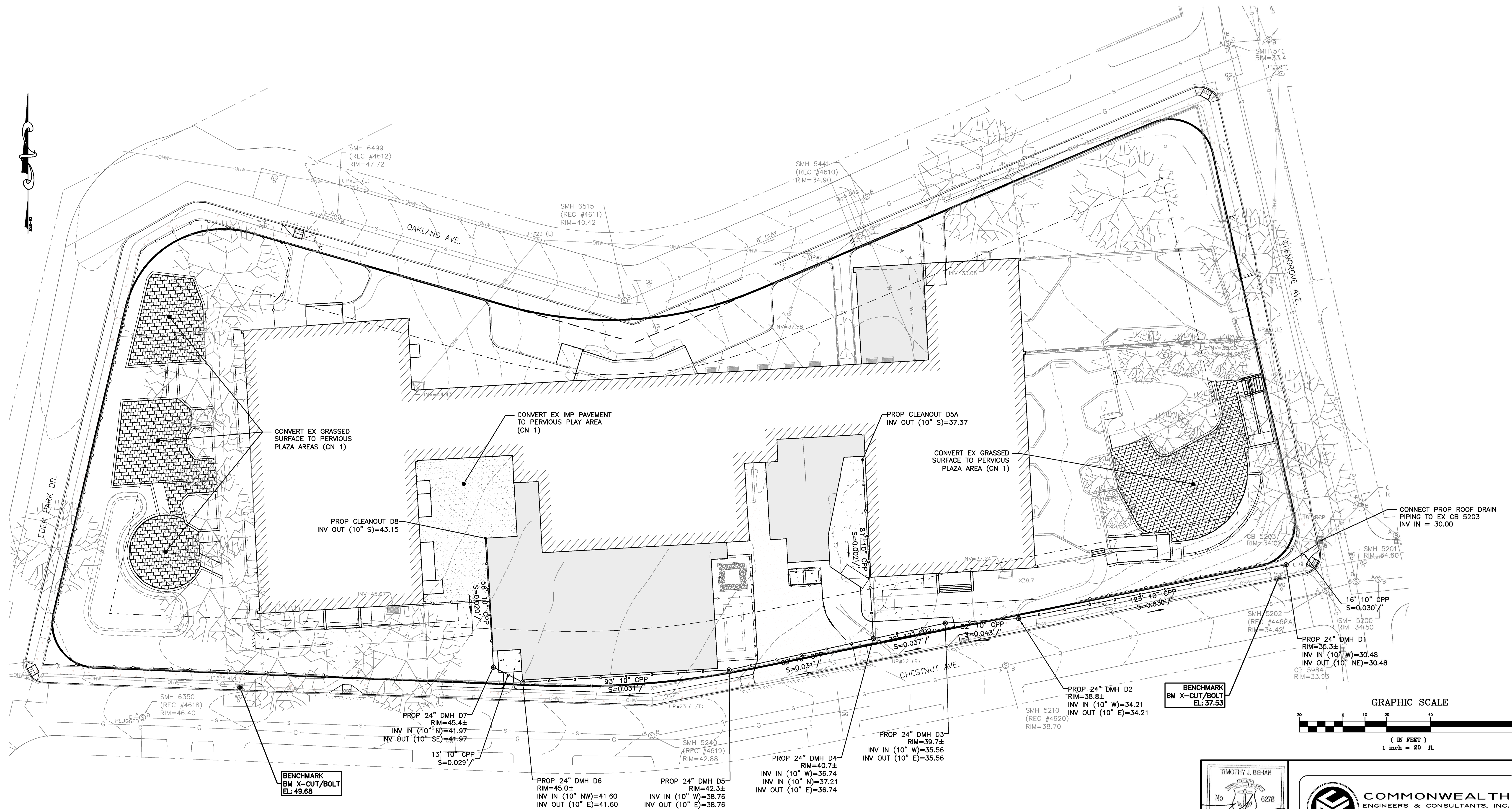
☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

PERMITTING PLANS

FOR
EDEN PARK ELEMENTARY SCHOOL
180 OAKLAND AVENUE
A.P. 9-3, LOT 2847
CRANSTON, RHODE ISLAND
SITE GRADING PLAN

SCALE: 1" = 20'		SHEET NO: 6 OF 12	
DRAWN BY: MCZ	DESIGN BY: MCZ	CHECKED BY: TJB	
DATE: DECEMBER 2021		PROJECT NO.: 21052.00	



PLAN VIEW

STORMWATER MANAGEMENT REQUIREMENTS:

1. STORMWATER MANAGEMENT DESIGN IS IN ACCORDANCE WITH THE CRANSTON SUBDIVISION & LAND DEVELOPMENT REGULATIONS, WHICH REQUIRE PEAK FLOW RATE MITIGATION FOR ALL STORMS UP TO AND INCLUDING THE 100-YEAR STORM EVENT.
2. COMPLIANCE WITH THE CRANSTON STORMWATER MANAGEMENT STANDARDS SHALL BE ACHIEVED BY APPLICATION OF LOW IMPACT DEVELOPMENT (LID) STANDARDS. SPECIFICALLY, THE PROJECT SHALL CONVERT MULTIPLE EXISTING IMPERVIOUS AREAS WITHIN THE SITE TO PERVIOUS AREAS. THIS SHALL REDUCE THE OVERALL SITE RUNOFF CURVE NUMBER (CN), AND BY EXTENSION THE STORMWATER RUNOFF PEAK FLOW RATES AND VOLUMES LEAVING THE SITE FOR ALL ANALYZED STORM EVENTS.
3. NO ADDITIONAL STRUCTURAL STORMWATER MANAGEMENT MITIGATION STRUCTURES SHALL BE REQUIRED FOR THIS PROJECT.

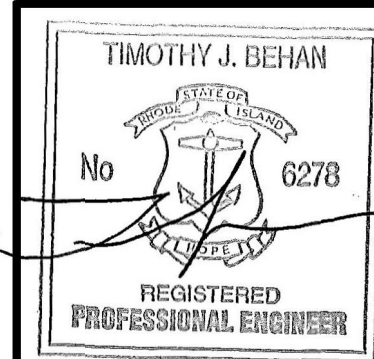
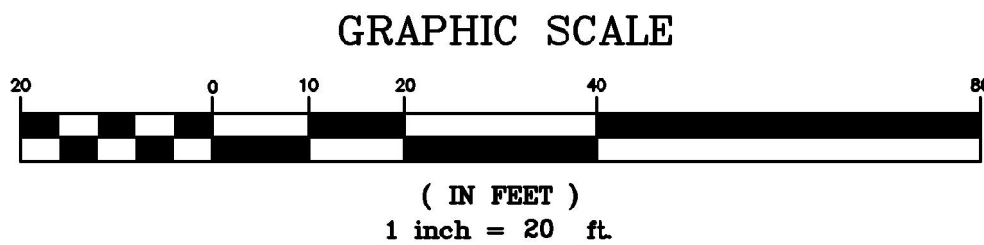
STORMWATER MANAGEMENT SYSTEM NOTES:

1. CPP (CORRUGATED PLASTIC PIPE) SHALL BE ADS N-12 WT (WATER-TIGHT) HIGH-DENSITY POLYETHYLENE PIPING.

DRAWING ISSUE:

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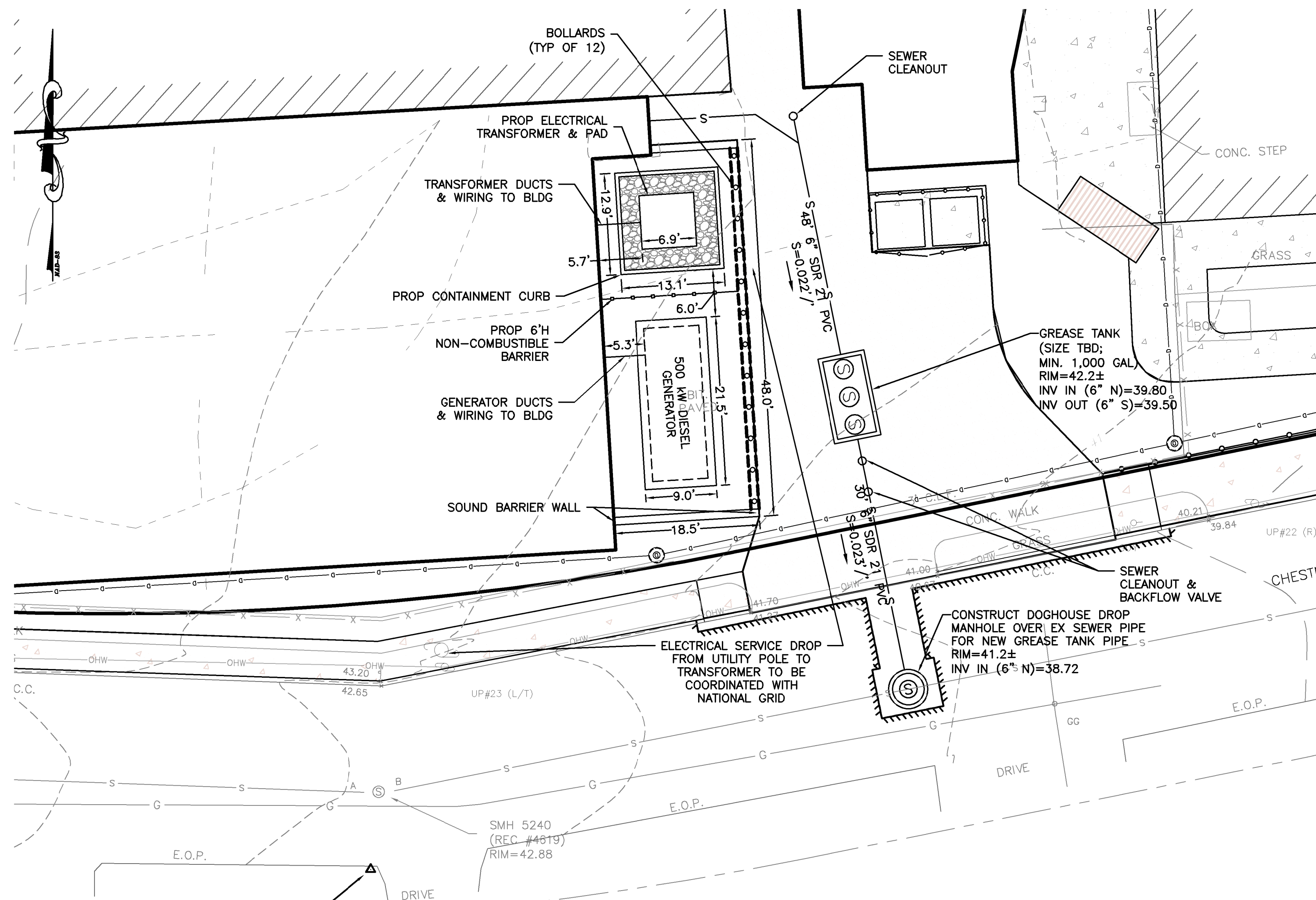


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No.	DATE	DRWN	CHKD

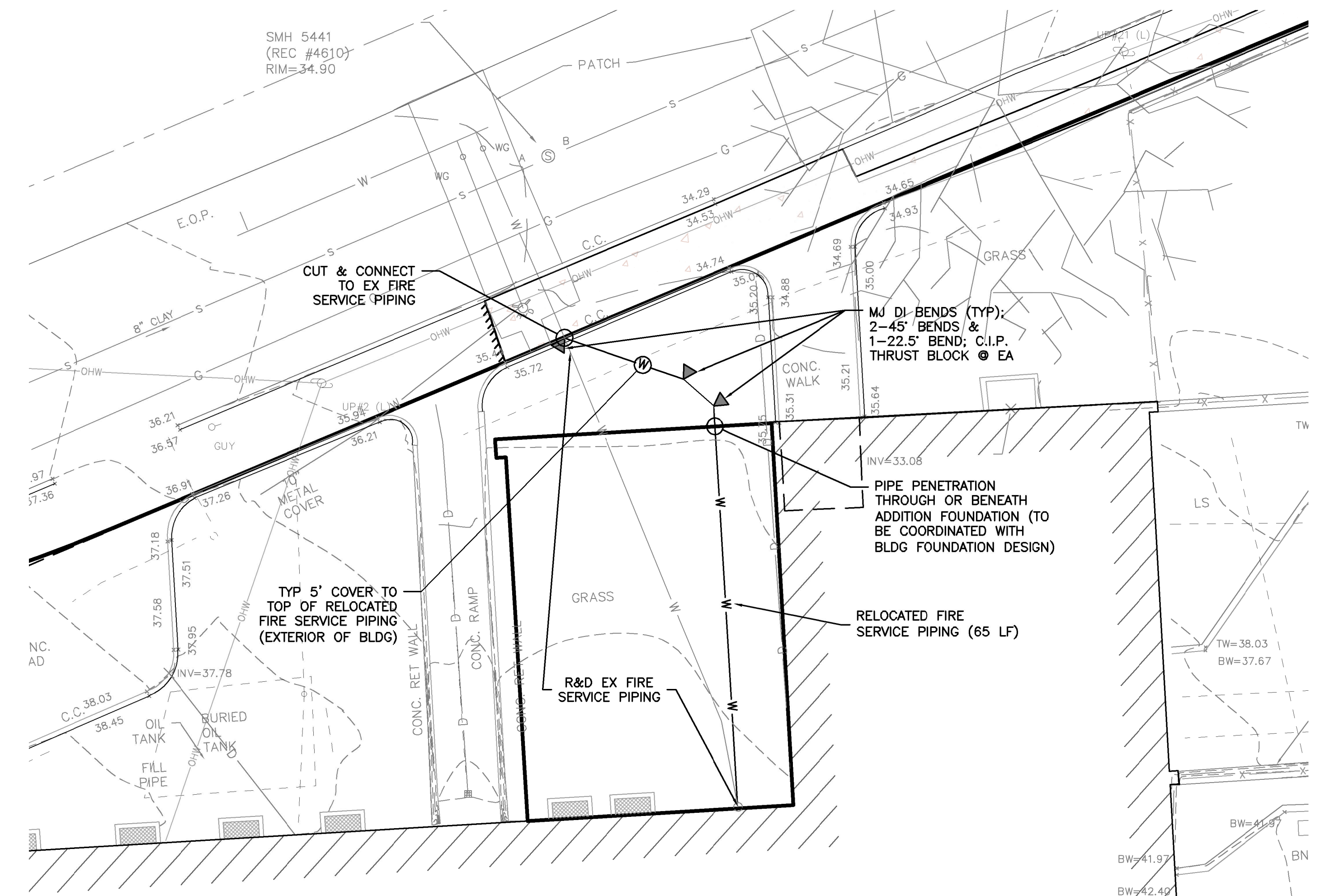


PERMITTING PLANS
FOR
EDEN PARK ELEMENTARY SCHOOL
180 OAKLAND AVENUE
A.P. 9-3, LOT 2847
CRANSTON, RHODE ISLAND
STORMWATER MANAGEMENT PLAN

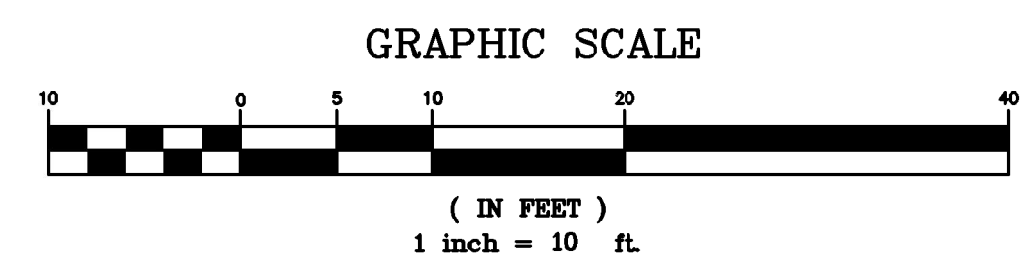
SCALE: 1" = 20'	SHEET NO: 7 OF 12	
DRAWN BY: MCZ	DESIGN BY: MCZ	CHECKED BY: TJB
DATE: DECEMBER 2021	PROJECT NO.: 21052.00	



DETAIL VIEW - ELECTRIC TRANSFORMER, GENERATOR & GREASE TANK
SCALE: 1"=10'



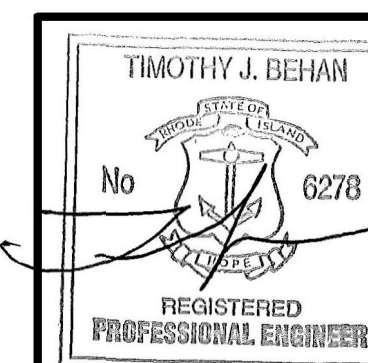
DETAIL VIEW - FIRE SERVICE RELOCATION
SCALE: 1"=10'



DRAWING ISSUE:

- ☐ CONCEPT
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- ☒ PERMITTING
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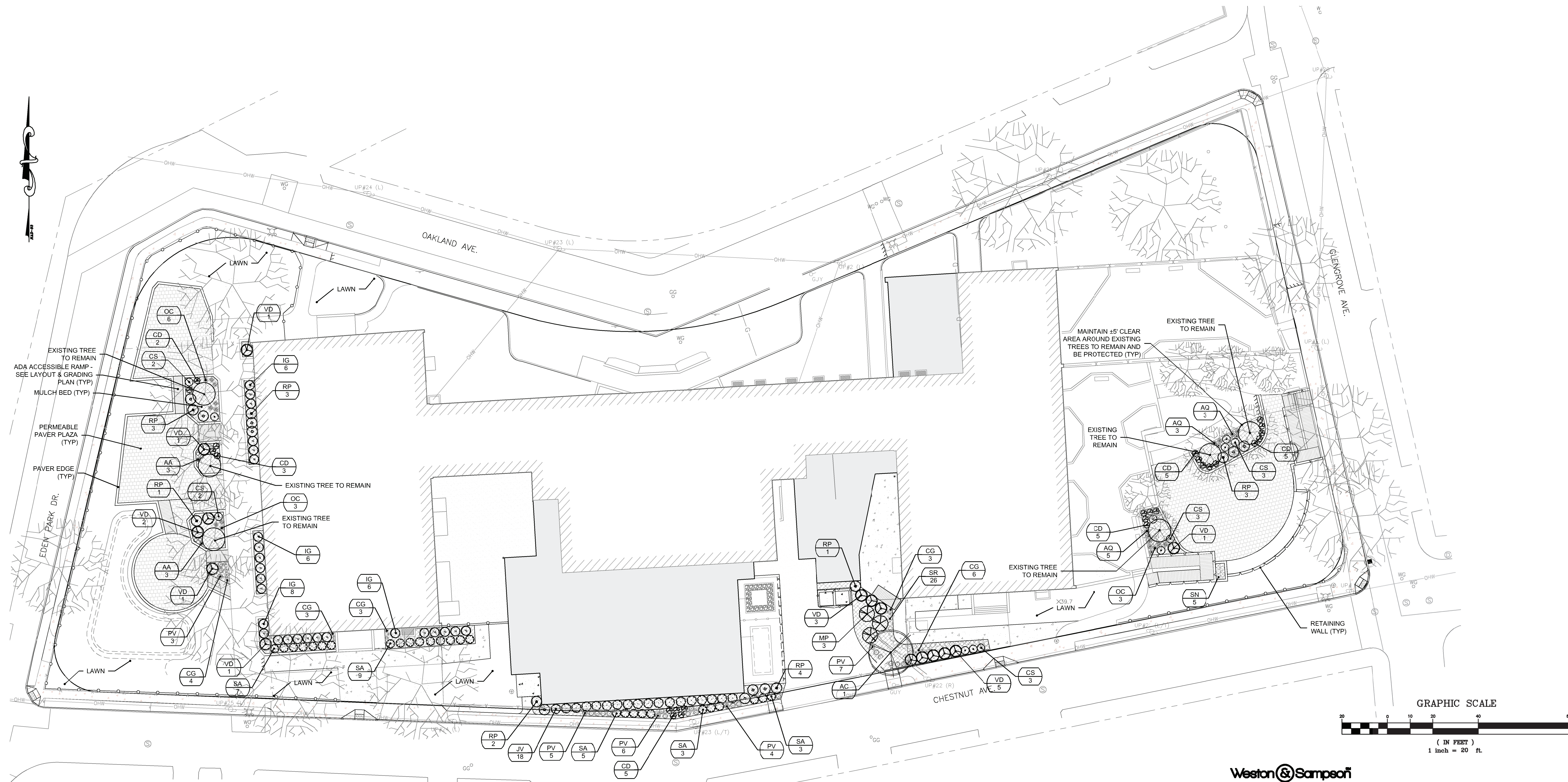


REVISIONS			
No.	DATE	DRWN	CHKD



PERMITTING PLANS
FOR
EDEN PARK ELEMENTARY SCHOOL
180 OAKLAND AVENUE
A.P. 9-3, LOT 2847
CRANSTON, RHODE ISLAND
UTILITY PLAN

SCALE: 1"=10'	SHEET NO: 8 OF 12	
DRAWN BY: MCZ	DESIGN BY: MCZ	CHECKED BY: TJB
DATE: DECEMBER 2021	PROJECT NO.: 21052.00	



PLANTING SCHEDULE			
SYM/KEY	BOTANIC NAME	COMMON NAME	REMARKS
TREES			
AC	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	SINGLE STEM, UNIFORM BRANCHING, NATIVE
JV	JUNIPERUS VIRGINIANA 'IDYLLWILD'	IDYLLWILD UPRIGHT JUNIPER	UPRIGHT FORM, FULL TO BASE, NATIVE
SHRUBS			
CD	CALLICARPA DICHOTOMA 'EARLY AMETHYST'	BEAUTYBERRY	PURPLE BERRIES, COMPACT FORM
CS	CORNUS CERICEA 'ALLEMANS'	ALLEMANS RED TWIG DOGWOOD	COMPACT FORM, RED STEMS, NATIVE
IG	ILEX GLABRA 'COMPACTA'	DWARF INKBERY	DWARF FORM, EVERGREEN, NATIVE
MP	MYRTICA PENNSYLVANICA	NORTHERN BAYBERRY	NATIVE
RP	RHODODENDRON PRINOPHYLLUM	ROSEBUD AZALEA	EVERGREEN, PINK FLOWERS, NATIVE
SA	SPIRAEA ALBA VAR. LATIFOLIA	WHITE MEADOWSWEET	COMPACT FORM, WHITE FLOWERS, NATIVE
VD	VIBURNUM DENTATUM 'BLUE MUFFIN'	BLUE MUFFIN ARROWWOOD VIBURNUM	WHITE FLOWERS, BLUE BERRIES, NATIVE
PERENNIALS			
AA	ATHYRIUM ANGUSTUM	NORTHERN LADY FERN	SHADE TOLERANT, NATIVE
AQ	AQUILEGIA CANADENSIS	WILD RED COLUMBINE	SHADE TOLERANT, RED FLOWERS, NATIVE
CG	CHELONE GLABRA	WHITE TURTLEHEAD	WHITE FLOWERS, NATIVE
OS	OSMUNDA CINNAMOMEA	CINNAMON FERN	SHADE TOLERANT, NATIVE
PV	PANICUM VIRGATUM 'SHEENANDOAH'	SHEENANDOAH SWITCH GRASS	FREE OF RUST, NATIVE
SN	SYMPHYOTRICHUM NOVAE-ANGLIAE	NEW ENGLAND AMERICAN ASTER	PURPLE FLOWERS, NATIVE
SR	SOLIDAGO RUGOSA 'FIREWORKS'	WRINKLELEAF GOLDENROD	YELLOW FLOWERS, NATIVE

PLAN VIEW

LANDSCAPE NOTES:

- REFER TO SHEET 12 - LANDSCAPE DETAILS FOR STANDARD PLANTING DETAILS.
- ALL PLANT MATERIAL TO CONFORM TO AAN STANDARDS.
- ALL PLANT MATERIAL TO RECEIVE THREE INCHES OF SHREDDED PINE BARK MULCH, EXCEPT FOR PLANTINGS IN SEDIMENT FOREBAYS, WHICH SHALL RECEIVE 3" OF HARDWOOD MULCH.
- ALL PLANT MATERIAL TO BE GUARANTEED TO SURVIVE AT LEAST ONE FULL YEAR FROM DATE OF PLANTING.
- ALL PLANT MATERIAL SUBJECT TO FIELD VERIFICATION OF LOCATION AND SPECIES.
- THERE WILL BE NO PLANT MATERIAL SUBSTITUTIONS WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
- DISTURBED SOILS WITHIN THE PROJECT LIMITS ARE TO BE LOAMED AND SEEDED WITH A MINIMUM OF 4" OF LOAM AND APPLICABLE SEEDING MIXTURE.

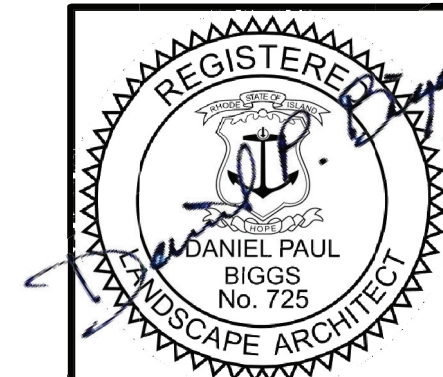
SITE LANDSCAPE AREA NOTES:

CRANSTON LAND DEVELOPMENT REQUIREMENTS: 15% OF A DEVELOPMENT'S PARCEL SHALL BE LANDSCAPED
A.P. 9-3 LOT 2847 TOTAL AREA: 99,806 S.F.
TOTAL LANDSCAPE AREA REQ'D: 14,971 S.F. (15%)
TOTAL LANDSCAPE AREA PROPOSED: 23,686 S.F. (23.7%)

DRAWING ISSUE:

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☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
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Weston & Sampson



REVISIONS			
No.	DATE	DRWN	CHKD



PERMITTING PLANS
FOR
EDEN PARK ELEMENTARY SCHOOL
180 OAKLAND AVENUE
A.P. 9-3, LOT 2847
CRANSTON, RHODE ISLAND
LANDSCAPE PLAN

SCALE: 1" = 20'		SHEET NO: 12 OF 12	
DRAWN BY: MCZ	DESIGN BY: KAB	CHECKED BY: TJB	
DATE: DECEMBER 2021		PROJECT NO.: 21052.00	

1. THE RHODE ISLAND SOIL EROSION & SEDIMENT CONTROL HANDBOOK, LATEST EDITION, SHALL BE APPLICABLE TO THIS PROJECT AS APPLICABLE, AND IS MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO.

- SOIL EROSION CONTROL &
STABILIZATION PROGRAM:

- THE R SOIL EROSION & SEDIMENT CONTROL HANDBOOK, AND THE APPROVED SOIL EROSION & SEDIMENTATION CONTROL PLAN (SESCP) FOR THE PROJECT.
2. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL/SOIL STABILIZATION MEASURES, AND SHALL INSPECT/REPLACE THEM AS NEEDED.
3. TREES TO BE RETAINED SHALL BE FENCED OR ROPED OFF TO PROTECT THEM FROM CONSTRUCTION EQUIPMENT.
4. NO UNDISTURBED AREAS SHALL BE CLEARED OF EXISTING VEGETATION AFTER OCTOBER 15, AND/OR DURING ANY AND/OR DURING ANY PERIOD OF FULL OR LIMITED WINTER SHUTDOWN. ALL DISTURBED SOILS EXPOSED PRIOR TO OCTOBER 15 OF ANY CALENDAR YEAR SHALL BE SEEDED OR PROTECTED BY THAT DATE.
5. ANY AREAS THAT DO NOT HAVE ADEQUATE VEGETATIVE STABILIZATION, AS DETERMINED BY THE DESIGNATED AUTHORITY, BY NOVEMBER 15 OF ANY CALENDAR YEAR, MUST BE STABILIZED THROUGH THE USE OF EROSION CONTROL MATTING OR HAY MULCH, AS DIRECTED BY THE DESIGNATED AUTHORITY.
6. IF WORK CONTINUES WITHIN ANY DISTURBED AREAS DURING THE PERIOD FROM OCTOBER 15 THROUGH APRIL 15, CARE MUST BE TAKEN TO ENSURE THAT ONLY THE AREA REQUIRED FOR THAT DAY'S WORK IS EXPOSED, AND ALL ERODIBLE SOIL MUST BE RESTABILIZED WITHIN 5 WORKING DAYS.
7. IF WORK STABILIZATION TREATMENTS SHALL CONSIST OF A STRAW, FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE DESIGNATED AUTHORITY.
8. STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
9. ALL TEMPORARY STABILIZATION SHALL REMAIN IN-PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
10. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE COMPLETED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
11. ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
12. TEMPORARY SEEDING MUST BE DONE WITHIN ONE (1) MONTH AFTER DISTURBANCE.
13. SLOPES CONSTRUCTED AT OR STEEPER THAN 15% SHALL HAVE EROSION CONTROL MATTING UTILIZED AS A SUPPLEMENTAL MEASURE IN ADDITION TO THE METHODS DESCRIBED ABOVE.
14. DENUDE SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR MORE THAN 2 WEEKS OF TIME OR FOR THE INACTIVE WINTER SEASON.
15. ALL TEMPORARY SEEDING AREA PROBE AND PLANT SEED IN ACCORDANCE WITH THE FOLLOWING AND ANY/APPLICABLE STANDARDS:

16. STOCKPILES OF TOPSOIL AND EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS. STOCKPILES SHALL HAVE NO SLOPE GREATER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES, SILT FENCE, OR COMPOST FILTER SOCK. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS OF TIME SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF PLANTING ANNUAL RYE GRASS OR PROTECTING WITH HAY, STRAW OR FIBER MATTING.
17. THE CONTRACTOR SHALL INSPECT SOIL EROSION CONTROL/STABILIZATION MEASURES AFTER EVERY RAIN STORM EVENT GENERATING GREATER THAN 0.25" OF RAINFALL, OR EVERY 7 DAYS (WHICH EVER COMES FIRST). ANY SOIL MIGRATION PAST THE DEVICES SHALL BE REMOVED AND THE SOIL EROSION CONTROL MEASURES SHALL BE RE-ESTABLISHED TO PREVENT FURTHER SOIL EROSION.
18. ANY WORK TO CORRECT PROBLEMS RESULTING FROM FAILURE TO COMPLY WITH THE PRECEDING PROVISIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR; THERE WILL BE NO SEPARATE PAY FOR THIS PROVISION. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 2 WEEKS OF FINAL GRADING.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXISTING STORMWATER RUNOFF TO, THROUGH AND ACROSS THE SITE DURING CONSTRUCTION. EXTREME CARE SHALL BE EXERCISED TO PREVENT ERODIBLE MATERIALS (SEDIMENTS) WITHIN DISTURBED AREAS OF THE SITE FROM ENTERING STORMWATER DRAINAGE SYSTEMS AND/OR DOWNSTREAM WATERCOURSES/ RESOURCE AREAS DURING CONSTRUCTION.
2. TO THAT PURPOSE, SEDIMENTATION CONTROLS SHALL BE INSTALLED AT/ON THE SITE PRIOR TO THE START OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO:
 - A) PERIMETER CONTROLS (STAKED STRAW WATTLES/CFS) IN ALL LOCATIONS SHOWN ON THE APPROVED SITE PLANS AND WHERE OTHERWISE NECESSARY TO PREVENT SEDIMENTS FROM ENTERING DOWNSTREAM WATERCOURSES AND STORMWATER DRAINAGE SYSTEMS;
 - B) ANY CATCH BASINS EITHER ON-SITE OR POTENTIALLY IMPACTED BY SITE RUNOFF SHALL BE PROTECTED AS INDICATED/DIRECTED THROUGHOUT THE CONSTRUCTION PERIOD UNTIL ALL DISTURBED AREAS ARE STABILIZED;
 - C) GROUND AT ALL DRAINAGE OUTFALLS IS TO BE PROTECTED BY STRAW WATTLE/CFS FILTERS OR APPROVED EQUAL UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH APPROVED GROUND COVER

- SUGGESTED SEQUENCE AND STAGING
OF LAND DISTURBING ACTIVITIES:

3. INSTALL CONSTRUCTION ENTRANCE RIP-RAP STABILIZATION PAD(S).
4. PLACE PERIMETER SEDIMENTATION CONTROL DEVICES (STRAW WATTLERS OR COMPOST COFFER DAMS (CFS)) ALONG LOD TO PREVENT ALL WORK BEING PERFORMED BEYOND THE PERIMETER SEDIMENTATION CONTROL DEVICES/LOD WITHOUT PRIOR AUTHORIZATION FROM THE DESIGNATED AREA.
5. INSTALL VEGETATION/TREE PROTECTION AS APPLICABLE FOR VEGETATED AREAS/TREES TO BE PRESERVED.
6. CLEAR/CLEAR-AND-GRUB DESIGNATED AREAS OF SITE.
7. BEGIN CONSTRUCTION OF DEVELOPMENT SITE FEATURES (EXCAVATING AND GRADING, ETC.). TOPSOIL AND SUBSOIL TO BE STRIPPED AND STOCKPILED IN DESIGNATED & APPROVED AREAS FOR LATER REUSE; MATERIAL STOCKPILES TO BE COVERED TO PREVENT EROSION.
8. GRADE GRADE SWALES/WATERWAYS; INSTALL STRAW WATTLE/CFS CHECK DAM DEVICES TO TRAP SEDIMENT IN ANY ROUGHED-IN CHANNEL(S) THAT WILL TEMPORARILY CONVEY RUNOFF DURING CONSTRUCTION. REFER TO APPLICABLE NOTES FOR CHANNEL SIZES FOR CFS.
9. CONSTRUCT NON-STORMWATER UTILITIES (SANITARY SEWER, WATER, GAS, ELECTRIC, ETC) AND FINISH PROPOSED PAVED SURFACES TO BASE PAVEMENT COURSE.
10. FINISH CONSTRUCTING DRAINAGE SYSTEMS WHEN PERIMETER AREAS ARE STABILIZED SO SEDIMENT CONTAMINATED RUNOFF WILL NOT FLOW INTO COMPLETED DRAINAGE DEVICES; PROTECT DRAINAGE SYSTEMS UNTIL ALL AREAS ARE STABILIZED.
11. PERFORM BUILDING CONSTRUCTION.
12. INSTALL ALL FINAL PAVING/HARDSCAPE SURFACES.
13. INSTALL ALL SLEEPING ALL DISTURBED AREAS NOT TO BE PAVED/HARDCAPED.
14. REMOVE ALL ACCUMULATED SEDIMENTS IN DRAINAGE SYSTEMS, AND REMOVE FILL FROM EROSION AND SEDIMENT CONTROL DEVICES AFTER A PERMANENT GROWTH OF VEGETATION IS ESTABLISHED.

1. ALL DISTURBED AREAS MUST BE SEEDED OR PLANTED (WHETHER TEMPORARILY OR PERMANENTLY) WITHIN THE CONSTRUCTION SEASON; THE TYPICAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
2. TOPSOIL IN SEEDED AREAS SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
3. THE SEED MIX SHALL BE INOCULATED WITHIN 24-HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
4. THE DESIGN MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDED SHALL BE COMPRISED OF THE FOLLOWING:

<u>TYPE</u>	<u>% BY WEIGHT</u>	<u>SEEDING DATE</u>
CREeping RED FESCUE	70	APRIL 1 – JUNE 15
STORIA BENTGRASS	5	AUGUST 15 – OCT.
BIRDFOOT TREFOIL	15	
PERENNIAL RYEGRASS	10	

APPLICATION RATE 100 LBS/ACRE

LIMING AND FERTILIZING AS REQUIRED TO COMPLEMENT OR UPGRADE EXISTING CONDITIONS.

5. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR, AND SHALL DO SO AT NO ADDITIONAL EXPENSE.
6. ALL PROPOSED PLANTINGS MUST BE ACCOMPLISHED AS EARLY AS POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION, AND AT LEAST PRIOR TO ANY ON-SITE OCCUPANCY.
7. ALL PROPOSED PLANTINGS MUST BE MAINTAINED BY THE CONTRACTOR TO ENSURE SURVIVAL DURING THE FULL WARRANTY PERIOD. SHOULD ANY OR ALL OF THE PROPOSED PLANTS FAIL TO SURVIVE A LEAST ONE (1) FULL GROWING SEASON FROM THE TIME THEY HAVE BEEN PLANTED, THE CONTRACTOR SHALL BE SOLELY AND FULLY RESPONSIBLE FOR REPLACING AND MAINTAINING THE SAME PLANT SPECIES FOR ONE (1) ADDITIONAL GROWING SEASON.

1. STORMWATER INFILTRATION MEASURES ARE HEAVILY RELIANT ON THE INFILTRATION CAPACITY OF THE UNDERLYING IN-SITU SOILS FOR THEIR PROPER FUNCTION AND LONGEVITY. OVER-COMPACTING OF UNDERLYING SOILS WILL COMPROMISE THE EFFECTIVENESS OF SUCH PRACTICES.
2. THE CONTRACTOR SHALL TAKE ALL DUE CARE TO PREVENT OVER-COMPACTING OF UNDERLYING SOILS IN AREAS OF PROPOSED STORMWATER INFILTRATION MEASURES. BY MARKING OFF THE LOCATION BEFORE THE START OF CONSTRUCTION AND CONSTRUCTING THE INFILTRATION PRACTICE LAST, CONNECTING UPSTREAM DRAINAGE AREAS ONLY AFTER CONSTRUCTION IS COMPLETE AND THE CONTRIBUTING AREA IS STABILIZED.
3. INFILTRATION PRACTICES SHALL NEVER SERVE AS SEDIMENT CONTROL DEVICES DURING THE SITE CONSTRUCTION PHASE. THE CONTRACTOR SHALL SUBMIT A PLAN TO THE DESIGNATED AUTHORITY (FOR APPROVAL) INDICATING HOW SEDIMENT WILL BE PREVENTED FROM ENTERING THE AREA OF AN INFILTRATION MEASURE.
4. ANY ACCUMULATED SEDIMENT SHALL BE REMOVED DOWN TO NATIVE UNDISTURBED MATERIAL PRIOR TO CONSTRUCTING THE FINAL INFILTRATION PRACTICES.
5. IF NECESSARY OR DIRECTED, THE CONTRACTOR SHALL RESTORE THE INFILTRATION CAPACITY OF ALL COMPACTED IN-SITU SOILS BENEATH INFILTRATION MEASURES BY TILLING OR SCARIFYING COMPACTED SOILS TO A MINIMUM DEPTH OF 18" BENEATH THE BOTTOM OF THE PROPOSED INFILTRATION MEASURE.
6. THE DESIGNATED AUTHORITY MAY REQUIRE THE CONTRACTOR TO PERFORM, AT ITS SOLE EXPENSE, INFILTRATION TESTING OF THE IN-SITU SUBGRADE SOILS PRIOR TO INSTALLATION OF THE INFILTRATION PRACTICE TO DEMONSTRATE THAT THE NECESSARY SOIL INFILTRATION CAPACITY WILL BE PROVIDED BY THE UNDERLYING SOILS.

SITE OWNER/OPERATOR SHALL REFER TO AND FOLLOW THE APPROVED OPERATION & MAINTENANCE (O&M) PLAN PREPARED FOR THIS PROJECT. A BRIEF SUMMARY OF LONG-TERM POLLUTION PREVENTION TECHNIQUES THAT MAY BE APPLIED TO THE PROJECT (AS APPROPRIATE) IS PROVIDED BELOW:

-
- STOCKPILE MATERIAL
- SILT FENCE/
STRAW WATTLES
- 5' MAX FROM
TOE OF SLOPE

NOT TO SCALE



1. LOCATE SEDIMENT TRAP WHERE FLOW CAN DISSIPATE THROUGH FILTER FABRIC AND STRAWBALES.
2. SEDIMENT TRAP LENGTH SHOULD BE FOUR TIMES ITS WIDTH.
3. USE SAND BAGS AS NEED TO HOLD/SECURE FILTER FABRIC.
4. ALL COLLECTED SEDIMENT IS TO BE DISPOSED OF PROPERLY PER ANY APPLICABLE LOCAL, STATE OR FEDERAL REGULATIONS.
5. DEWATERING BASINS MUST BE LOCATED WITHIN THE PROPOSED LIMITS OF DISTURBANCE.

NOT TO SCALE

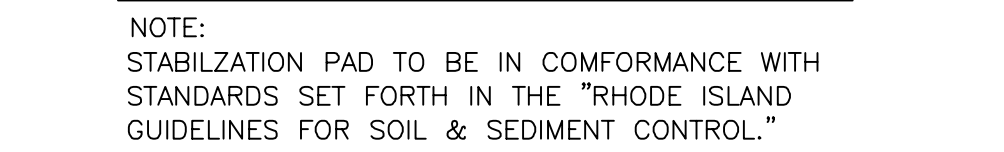


3. COMPOST FILTER SOCK IS AN APPROVED "OR EQUAL" TO COMPOST FILTER BERM WHEN INSTALLED IN ACCORDANCE WITH THE TABLE BELOW:

RAW WATTLE/COMPOST FILTER SOCK
NOT TO SCALE

NOT TO SCALE



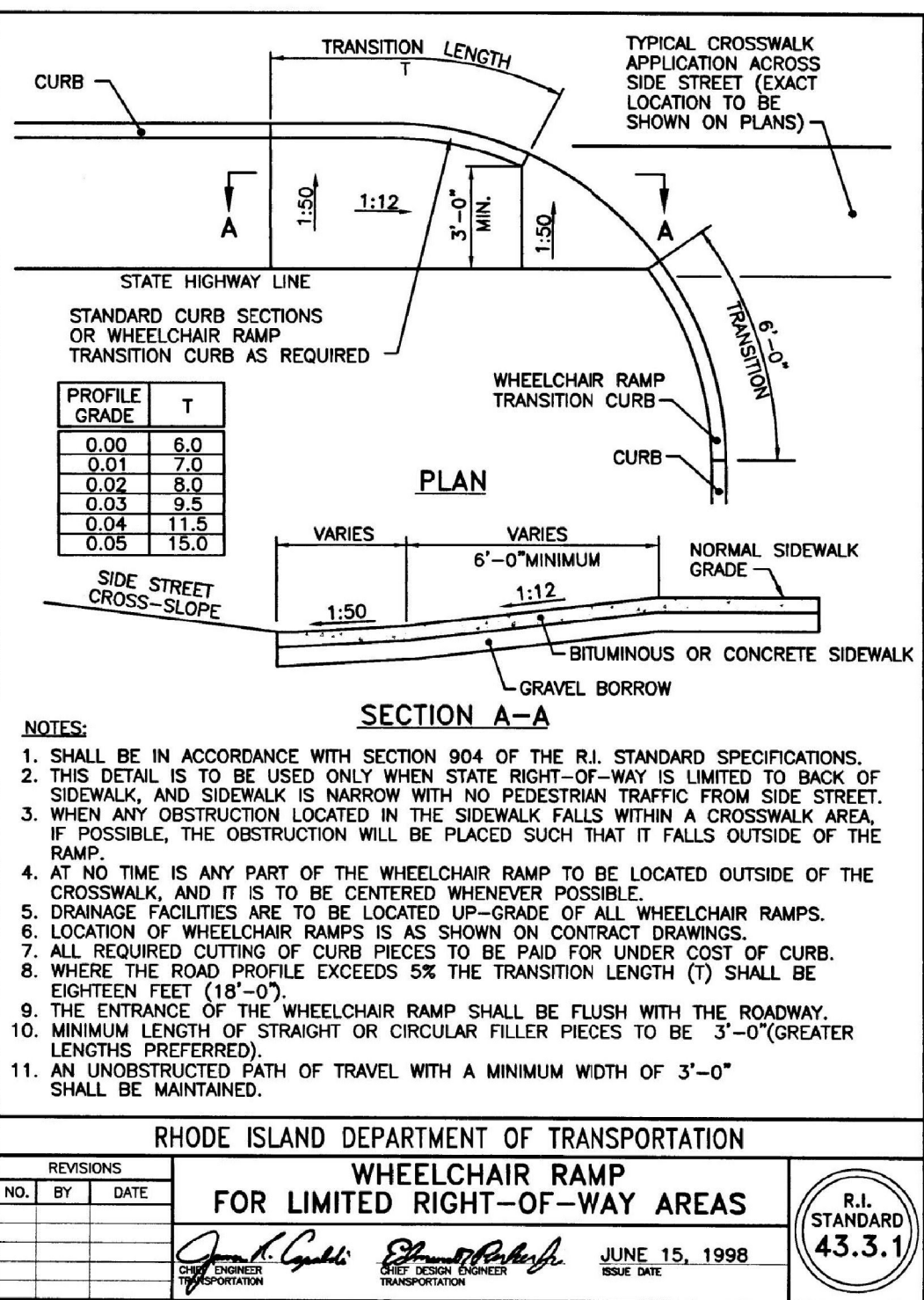
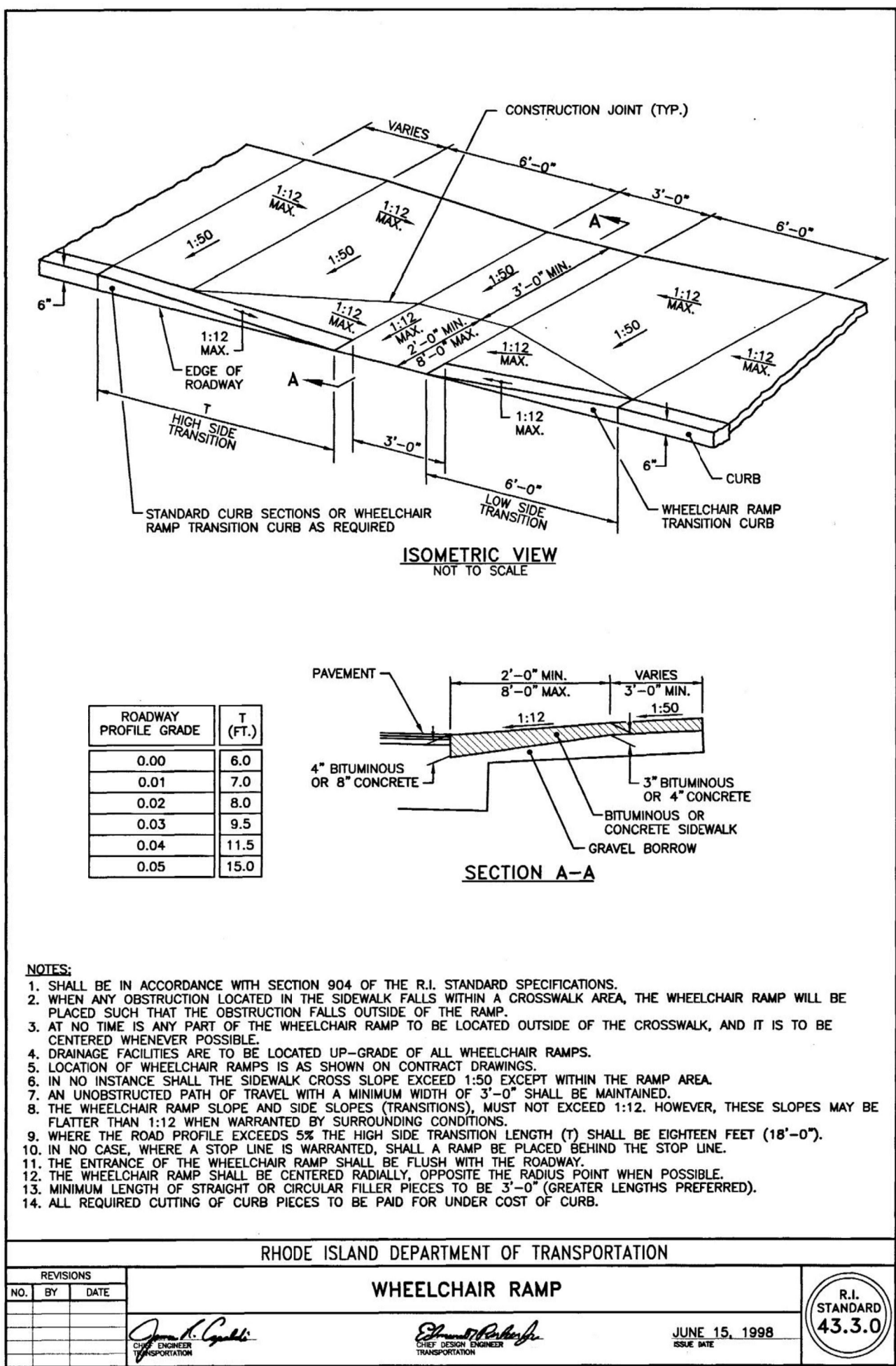
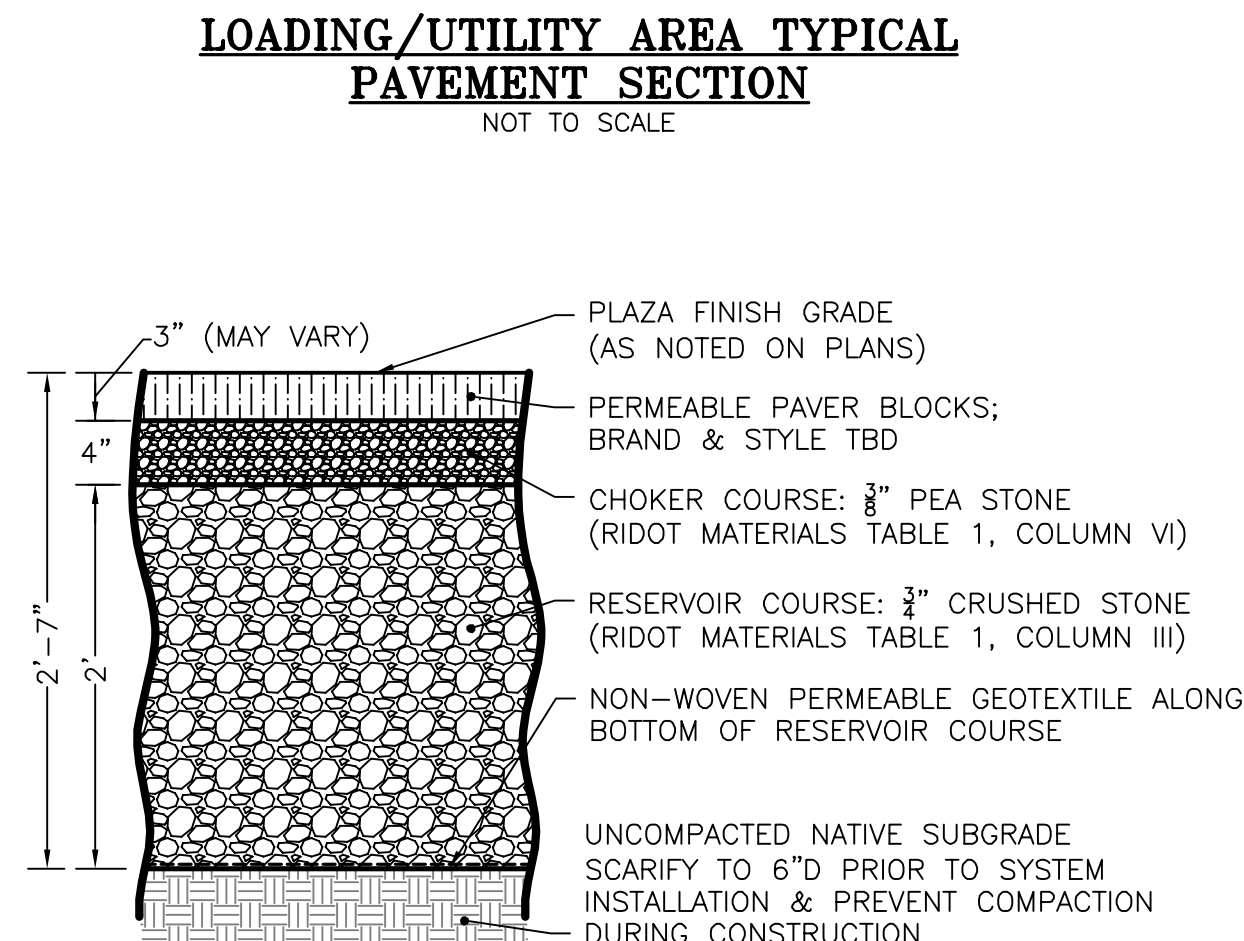
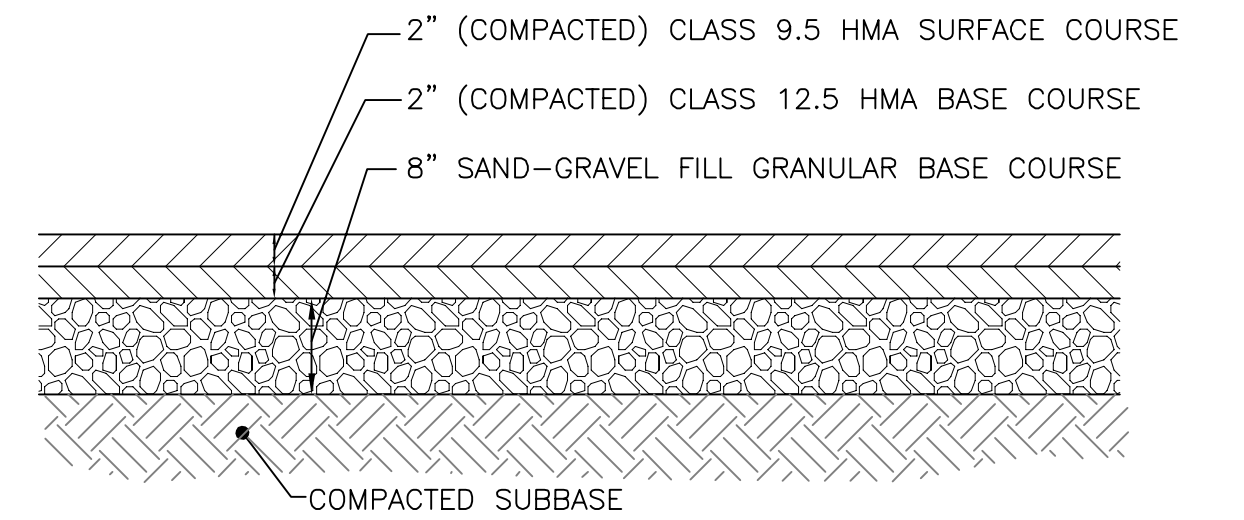
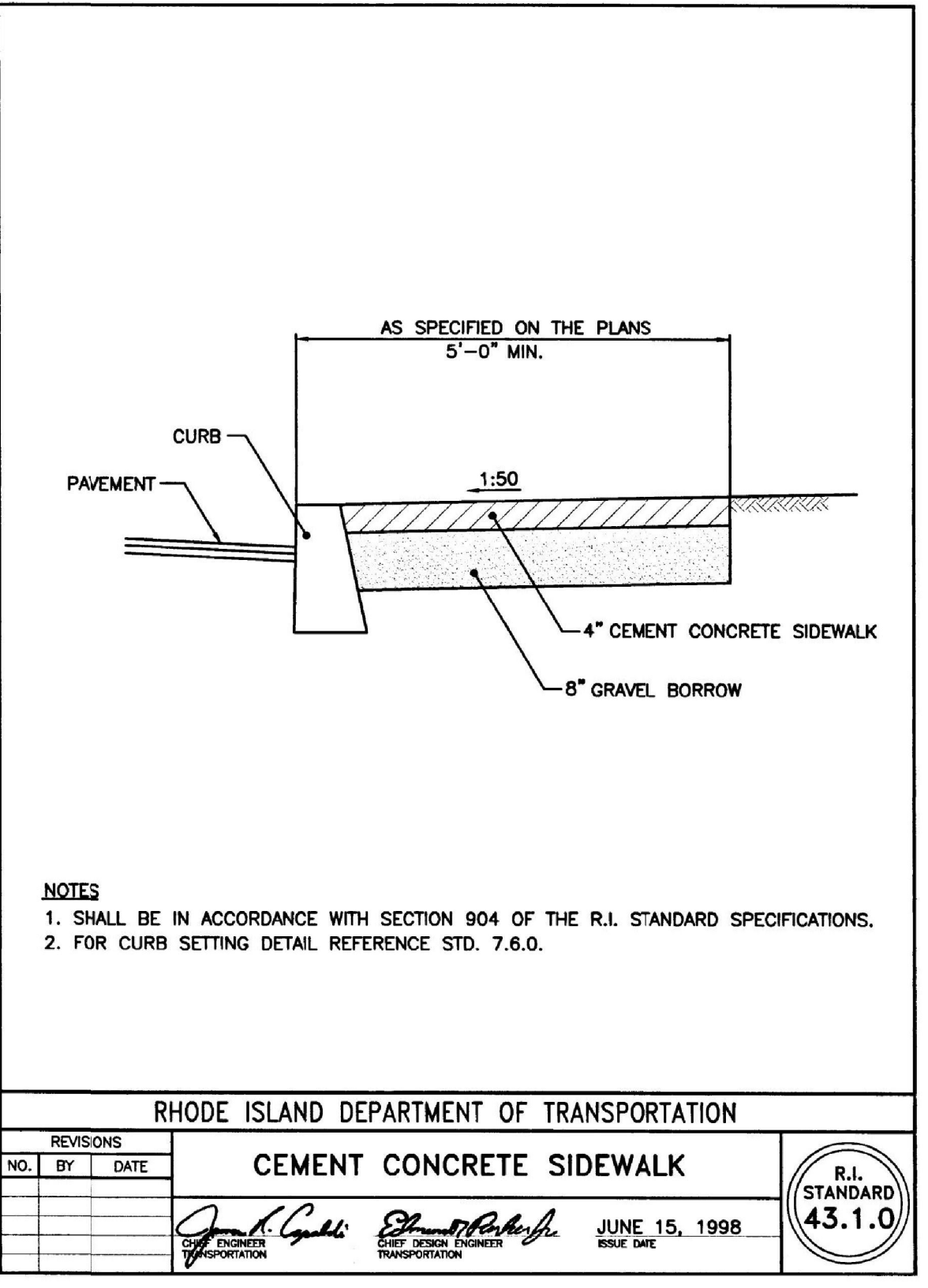
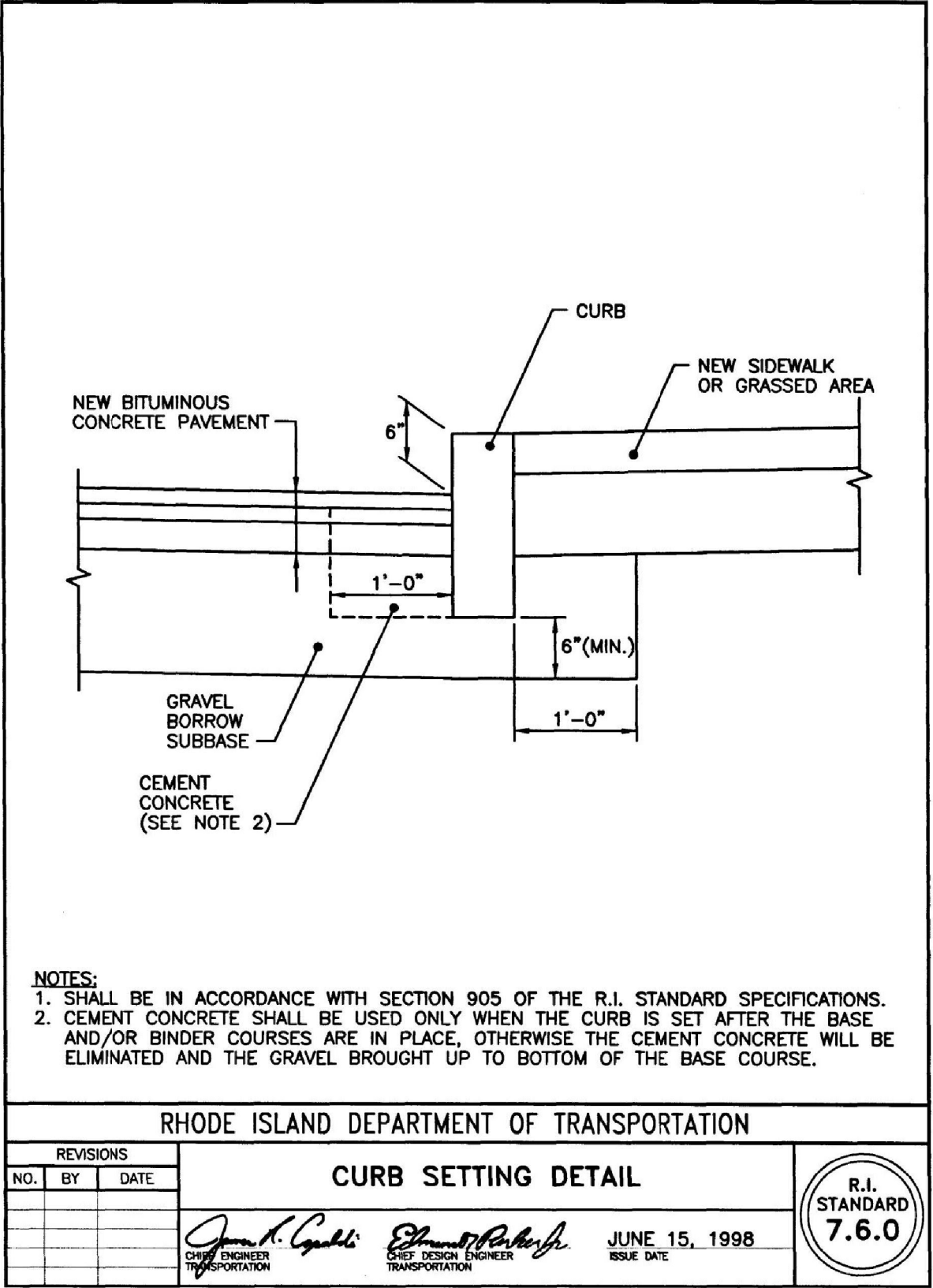
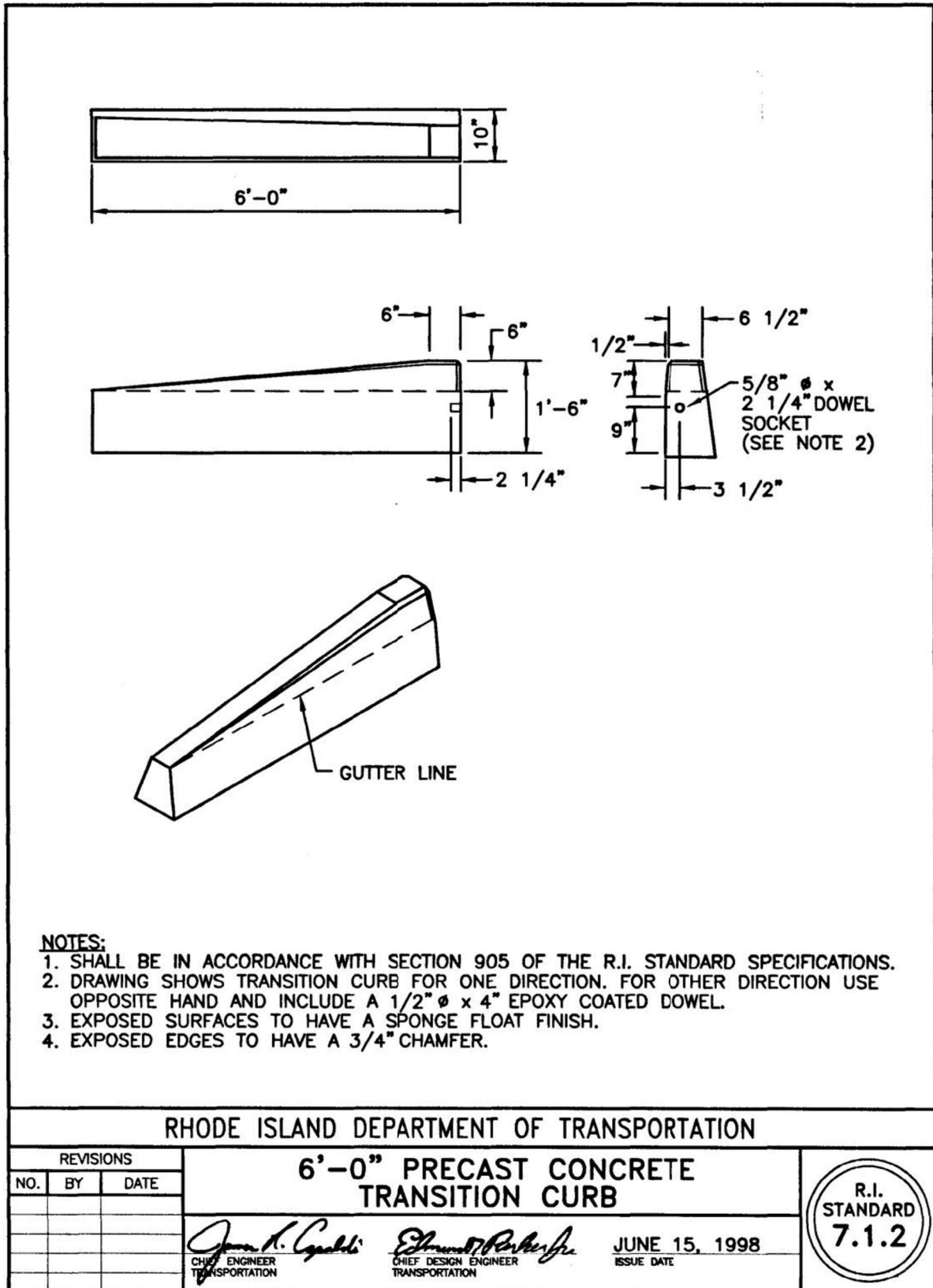
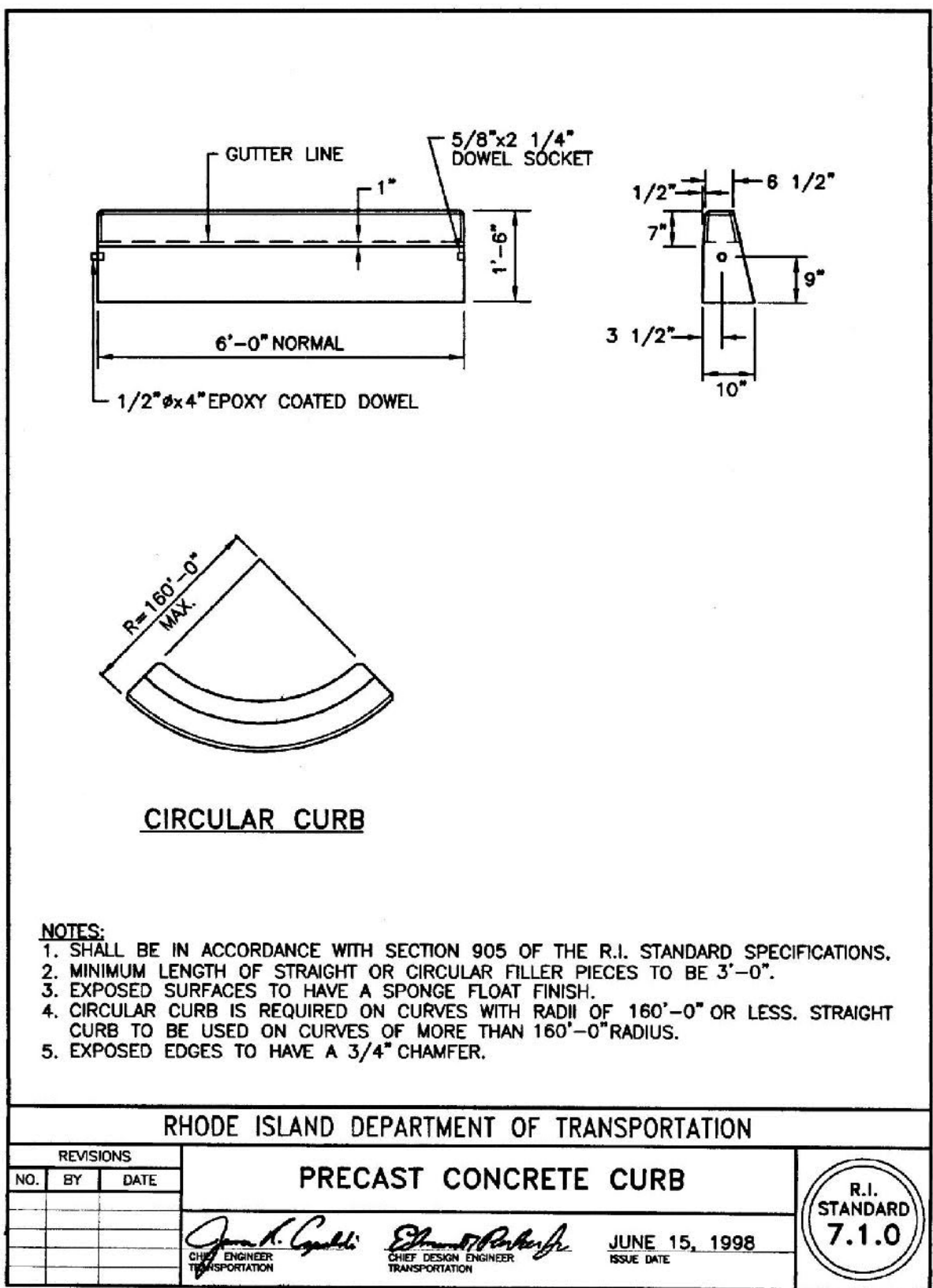


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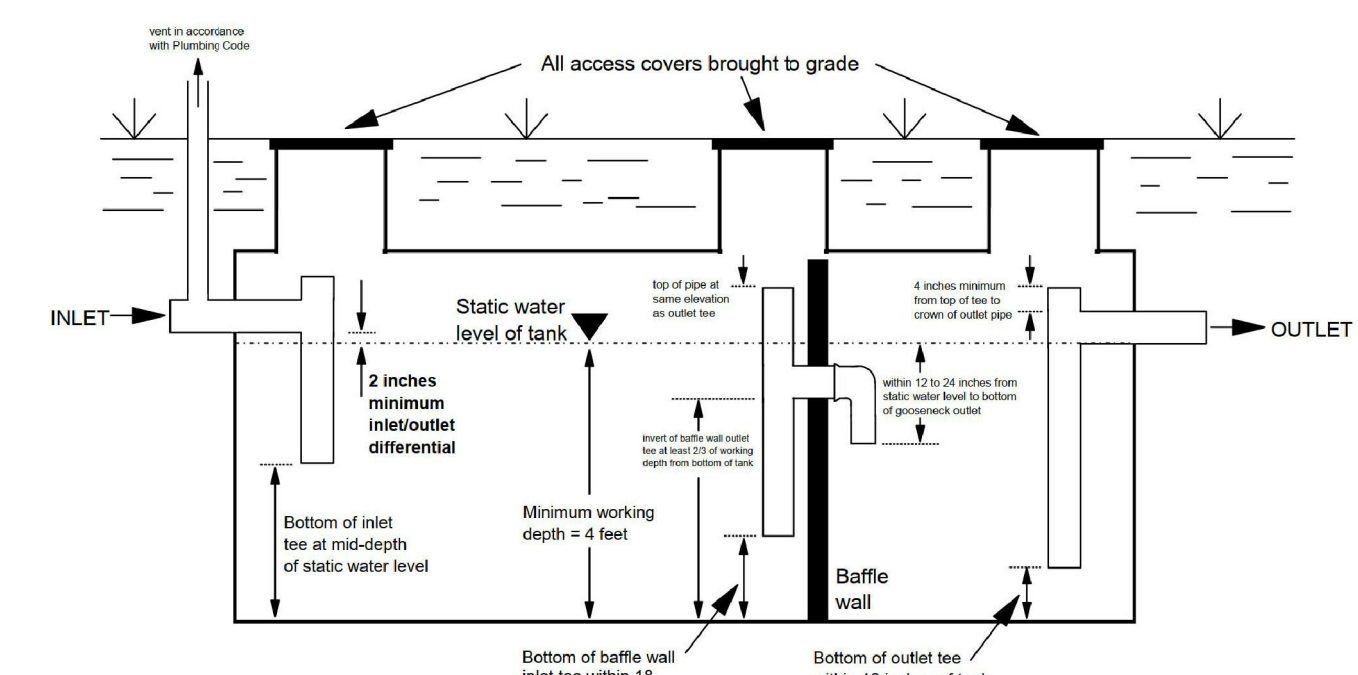


REVISIONS

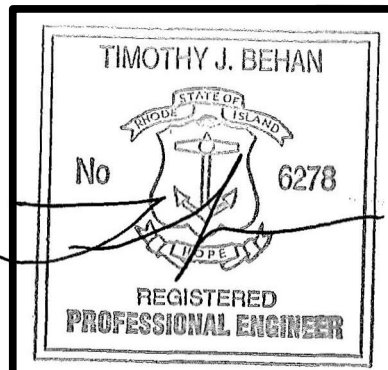
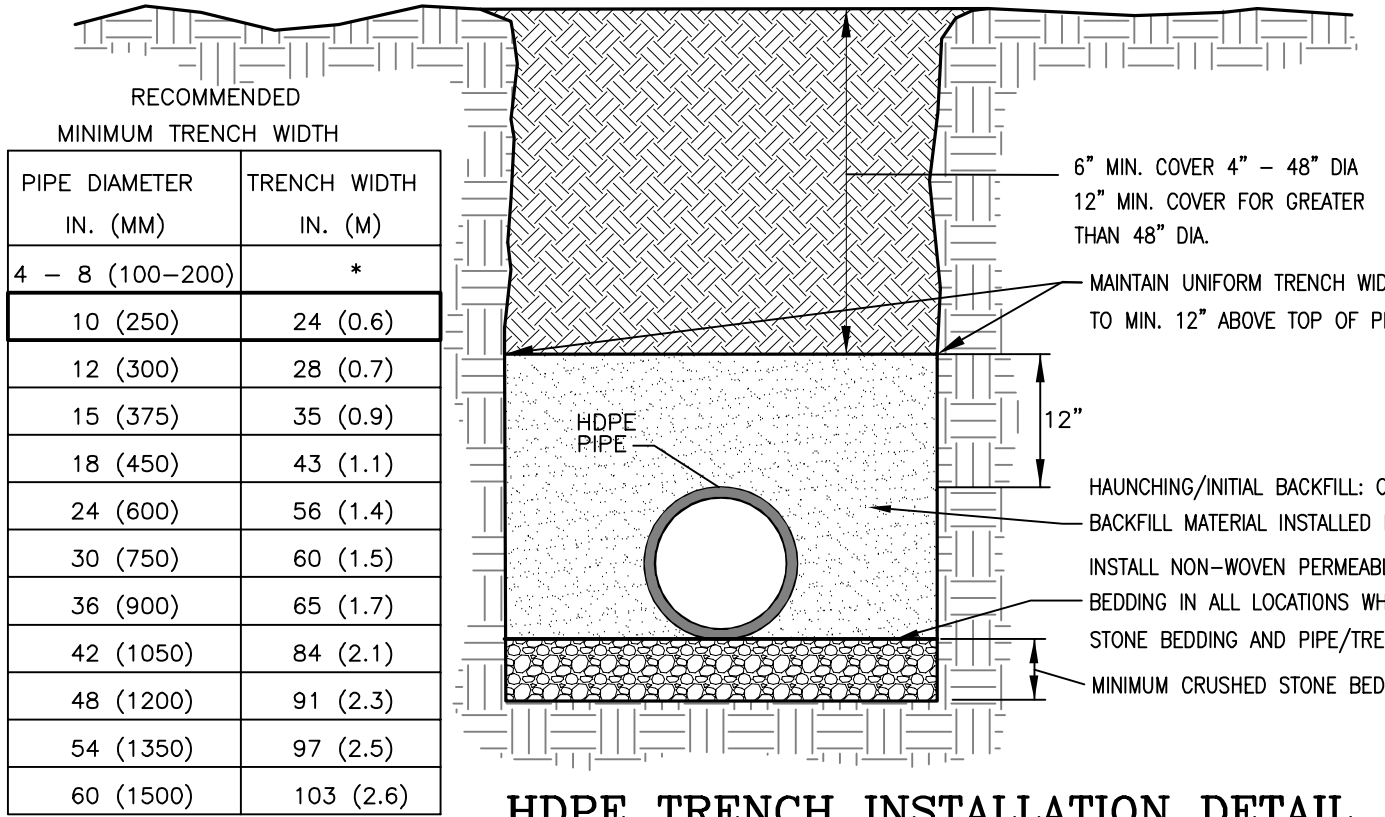
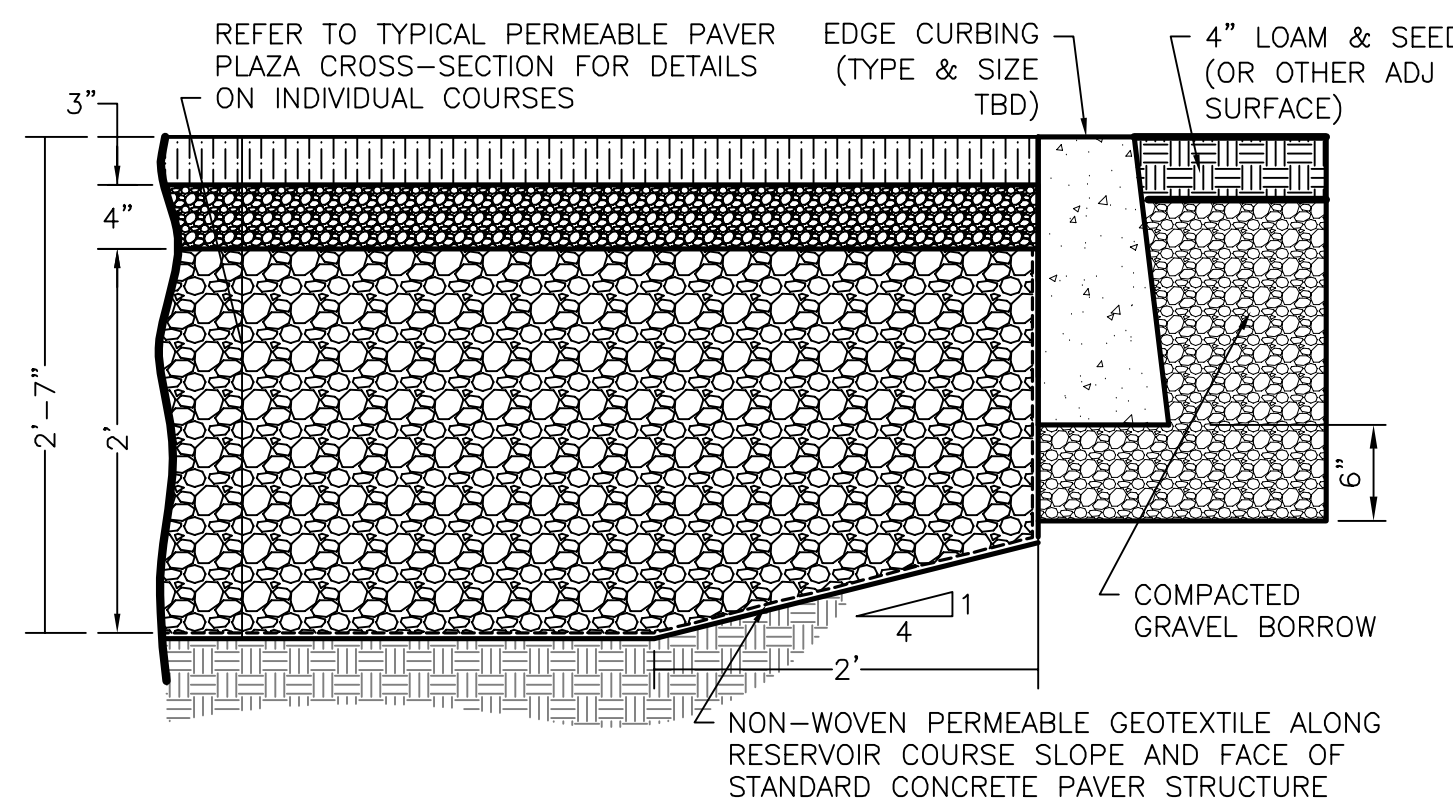
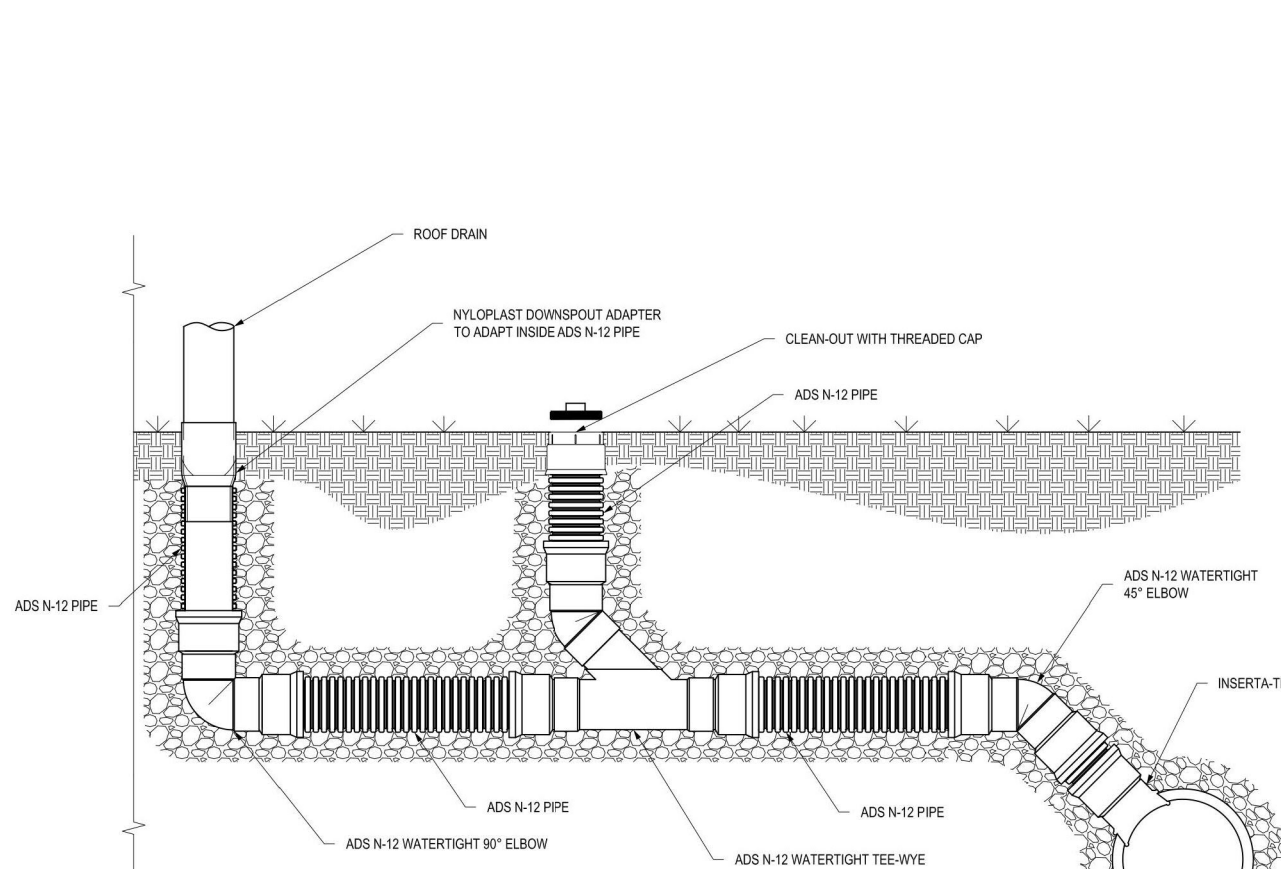
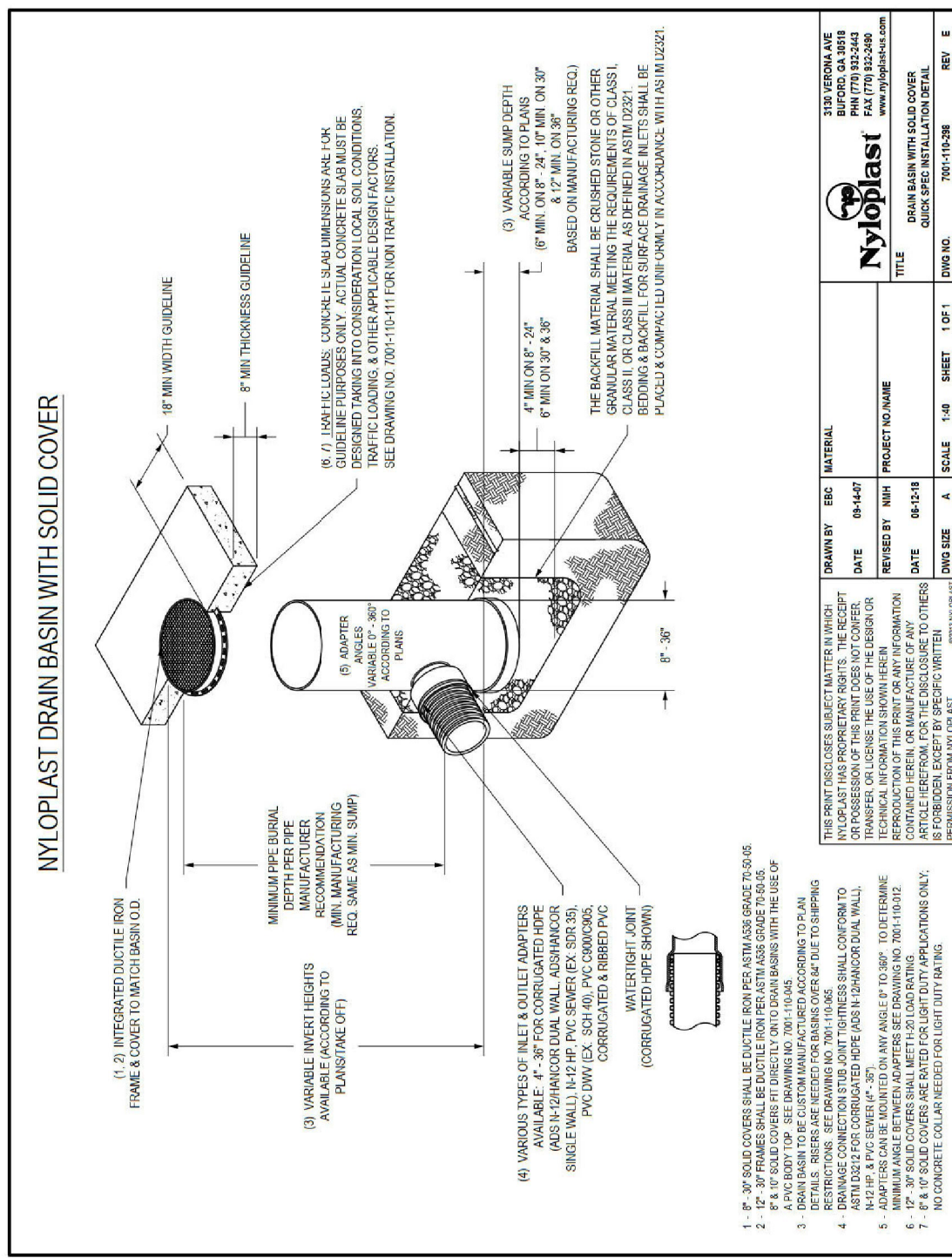
PERMITTING PLANS



TYPICAL GREASE INTERCEPTOR CONFIGURATION



Note: Top of inlet, baffle wall, and outlet tees must be accessible from top of access cover



PERMITTING PLANS

FOR

EDEN PARK ELEMENTARY SCHOOL

180 OAKLAND AVENUE

A.P. 9-3, LOT 2847

CRANSTON, RHODE ISLAND

CONSTRUCTION DETAILS 3

SCALE: AS NOTED

SHEET NO: 11 OF 12

DRAWN BY: MCZ

DESIGN BY: MCZ

CHECKED BY: TJB

DATE: DECEMBER 2021

PROJECT NO.: 21052.00

DRAWING ISSUE:

☐ CONCEPT

☐ CUSTOMER APPROVAL

☒ PERMITTING

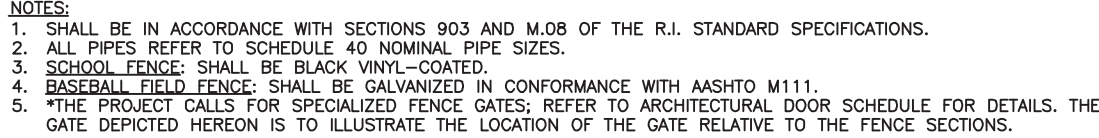
☐ CONSTRUCTION

☐ AS-BUILT

☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

PLANTING SCHEDULE



NOT TO SCALE



FOR
EDEN PARK ELEMENTARY SCHOOL
180 OAKLAND AVENUE
A.P. 9-3, LOT 2847
CRANSTON, RHODE ISLAND

LANDSCAPE DETAILS

SCALE: AS NOTED		SHEET NO: 12 OF 12	
DRAWN BY: MCZ	DESIGN BY: MCZ	CHECKED BY: TJ	
DATE: DECEMBER 2021		PROJECT NO.: 21052.00	

☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION
 SHALL BE USED FOR CONSTRUCTION